



PLANNING COMMITTEE

Wednesday 7 June 2017 at 6.00 pm (Following the Licensing Committee)

Council Chamber, Ryedale House, Malton

Agenda

- 1 **Apologies for absence**
- 2 **Minutes** (Pages 3 - 6)
- 3 **Urgent Business**
To receive notice of any urgent business which the Chairman considers should be dealt with at the meeting as a matter of urgency by virtue of Section 100B(4)(b) of the Local Government Act 1972.
- 4 **Declarations of Interest**
Members to indicate whether they will be declaring any interests under the Code of Conduct.

Members making a declaration of interest at a meeting of a Committee or Council are required to disclose the existence and nature of that interest. This requirement is not discharged by merely declaring a personal interest without further explanation.
- 5 **Part A Report - Local Validation List** (Pages 7 - 87)
- 6 **Schedule of items to be determined by Committee** (Pages 88 - 89)
- 7 **17/00288/MREM - 56 Low Moorgate, Rillington** (Pages 90 - 104)
- 8 **17/00347/MFUL - Rainbow Farm Veterinary Surgery, Rainbow Lane, Malton**
(Pages 105 - 122)

- 9 **17/00405/MFUL - Dotterel Farm, Main Road, Weaverthorpe** (Pages 123 - 134)
- 10 **17/00109/FUL - Land To The East Of Mowthorpe Lane, Terrington** (Pages 135 - 153)
- 11 **17/00356/FUL - Masonic Hall, Bridge Street, Pickering** (Pages 154 - 164)
- 12 **17/00357/LBC - Masonic Hall, Bridge Street, Pickering** (Pages 165 - 169)
- 13 **17/00507/FUL - Rocklands, Cawthorne Lane, Wrelton** (Pages 170 - 181)
- 14 **16/01424/FUL - Sledgate Garage, Low Moor Lane, Rillington** (Pages 182 - 203)
- 15 **16/01640/FUL - Hydramotion Ltd, 1A - 1B Seven Street, Malton** (Pages 204 - 215)
- 16 **Any other business that the Chairman decides is urgent.**
- 17 **List of Applications determined under delegated Powers.** (Pages 216 - 222)
- 18 **Update on Appeal Decisions** (Pages 223 - 227)

190 **17/00163/FUL - Land At Foxholes Manor, Ganton Road, Foxholes**

17/00163/FUL - Erection of a four-bedroom dwelling to include integral double garage and formation of vehicular access

Decision		
REFUSED - as recommended		
[For 9	Against 1	Abstain 0]

In accordance with the Members Code of Conduct, Councillors Frank and Farnell declared a personal non pecuniary but not prejudicial interest.

191 **17/00203/HOUSE - Wind Hill, 4 Wapping Lane, Great Edstone**

17/00203/HOUSE - Erection of single storey front and rear extensions, two storey side extension and detached garage to replace existing attached garage and shed

Decision		
PERMISSION GRANTED - Subject to conditions as recommended		
[For 10	Against 0	Abstain 0]

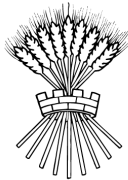
192 **Any other business that the Chairman decides is urgent.**

There was no other business.

193 **List of Applications determined under delegated Powers.**

The Head of Planning submitted for information (previously circulated) a list which gave details of the applications determined by the Head of Planning in accordance with the scheme of delegated decisions.

Meeting Closed at 7:45pm



PART A:	MATTERS DEALT WITH UNDER DELEGATED POWERS
REPORT TO:	PLANNING COMMITTEE
DATE:	7 JUNE 2017
REPORT OF THE:	HEAD OF PLANNING GARY HOUSDEN
TITLE OF REPORT:	LOCAL INFORMATION REQUIREMENTS (LOCAL VALIDATION LIST)
WARDS AFFECTED:	ALL

EXECUTIVE SUMMARY

1.0 PURPOSE OF REPORT

- 1.1 For members to consider and agree the adoption of a list of Local Information Requirements or 'Local Validation List' to assist the development management process.

2.0 RECOMMENDATION

- 2.1 It is recommended that:

- (i) The list of Local Information Requirements (at Appendix 1) is adopted for use in administering the development management process.

3.0 REASON FOR RECOMMENDATION

- 3.1 A Local Validation List helps to manage the planning application process. The list specifies the 'local' information that (in addition to statutory and national information requirements) is required to support the determination of planning applications and other applications submitted under planning legislation.
- 3.2 An up to date, adopted Local List provides information to applicants and their agents to assist the submission of applications and timely decision making. The list also gives the Local Planning Authority the ability to not validate an application until the specified/relevant information is provided. In this respect, the list is helpful tool to manage the determination of applications within statutory time periods and to manage the expectations of applicants.

4.0 SIGNIFICANT RISKS

- 4.1 There are no significant risks associated with the recommendation. The list has been prepared in accordance with national guidance/policy. It has been subject to consultation with stakeholders and the process of adoption is in accordance with the Council's constitution.

5.0 POLICY CONTEXT AND CONSULTATION

- 5.1 The national Planning Practise Guidance (PPG) summarises the statutory regulatory requirements relating to the information required to validate planning applications. In summary these are as follows:

- completed application form
- correct fee
- compliance with national information requirements including; necessary plans and drawings (with identified scale and north point); completed ownership certificates and agricultural land declaration; Design and Access Statement (for most planning and Listed Building Consent applications) and an Environmental Statement (if applicable).
- Local Information Requirements (the Local Validation List)

- 5.2 The Guidance makes it clear that any local information requirements should be specified on a formally adopted local list which has been published on a local planning authorities web-site less than two years before an application is submitted. It goes on to state that local information requirements have no bearing on whether a planning application is valid unless they are set out on such a list.

- 5.3 An important principle in establishing and using a local list is that Local Planning Authorities should take a proportionate approach to the information requested in support of planning applications. The PPG and the National Planning Policy Framework (NPPF para 193) state that:

'Local Planning Authorities should publish a list of their information requirements for applications, which should be proportionate to the nature and scale of development proposals and reviewed on a frequent basis. Local Planning Authorities should only request supporting information that is relevant, necessary and material to the application in question'.

6.0 REPORT

- 6.1 The proposed list of local information requirements is at Appendix 1 of this report. The list takes the form of a main document together with checklists that are applicable to specific types of development. The list is based on one which was compiled by the North Yorkshire Planning Officers Group and it is largely consistent with the Local Lists used by other Local Planning Authorities across North Yorkshire. As well as setting out the local information requirements required to accompany the submission of applications, the document also establishes a protocol for the handling of planning and other applications submitted under planning legislation.
- 6.2 Consultation with key stakeholders, including developers, agents and statutory consultees was undertaken in November/December 2016. Consultation responses are summarised at Appendix 2 to the report, together with a proposed RDC response.

7.0 IMPLICATIONS

7.1 The following implications have been identified:

- a) Financial
No direct implications associated with the recommendation.
- b) Legal
No direct implications associated with the recommendation.
- c) Other (Equalities, Staffing, Planning, Health & Safety, Environmental, Crime & Disorder)
To meet national requirements the list must be reviewed every two years following adoption.

8.0 NEXT STEPS

8.1 The Local List will be made available on the Council's web-site and brought into immediate effect. The list will be reviewed in accordance with national guidance within two years.

Gary Housden
Head of Planning

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Background Papers:

National Planning Policy Framework (NPPF) and Planning Practice Guidance (PPG)

Background Papers are available for inspection at:

<https://www.gov.uk/government/publications/national-planning-policy-framework--2>

<https://www.gov.uk/guidance/making-an-application#Validation-requirements-for-planning-permission>



**Ryedale District Council - Validation Guidance Note
Conversion of Agricultural buildings to dwellings under permitted development**

**Part 3, Class Q of the Town and Country Planning (General Permitted Development)
Order 2015.**

The regulations under Class Q have been introduced to allow for agricultural buildings to be converted into dwellings without the need for full planning permission. This is subject to going through a prior notification procedure where details are submitted to the Council. Proposals will need to satisfy a number of criteria and will impose certain restrictions on other new agricultural development.

The Provisions

The buildings will need to have been used for agriculture on the 20th March 2013, or last used for agriculture if currently unused or used for agriculture in the preceding 10 years prior to a development under Class Q beginning. If this is the case the provisions allow for the following:

- Creation of up to 3 dwellings by conversion of existing buildings on an agricultural unit and includes associated residential garden area which would be required (agricultural unit requires it to be associated or last associated with an agricultural trade or business).
- Use of up to 450 square metres of existing floor space on an agricultural unit.
- The installation or replacement of windows, doors, roofs, exterior walls, water, drainage, electricity, gas and other services to the extent reasonably necessary for the building to function as a dwelling.
- Partial demolition to the extent reasonably necessary to carry out the building operations above.

The Restrictions

Whilst it is clear what the Government wishes to achieve in terms of helping rural development it has been necessary to include a number of safeguarding clauses to the legislation in respect of landscape designations, tenant farms and erection of new agricultural buildings.

The legislation restricts the following to requiring planning permission:

- Conversion of barns within Areas of Outstanding Natural Beauty (AONB), National Parks, The Broads, a Conservation Area, or a World Heritage Site.
- Where the site is or forms part of a listed building (including curtilage listed buildings), a scheduled monument, a Site of Special Scientific Interest (SSSI), a safety hazard area or a military explosives storage area.
- Extending and enlarging the existing building beyond its existing external dimensions (including height)
- The garden area provided with the barn (including parking/turning areas) cannot be any bigger than the footprint of the building itself.
- If any conversion works have already commenced an application for prior notification cannot be submitted, and a full planning application would be required.
- You may wish to seek formal pre-application advice from RDC.

The legislation also effects how you can use your normal agricultural permitted development rights by the following:

- Where a new agricultural building has been put up on a unit under the 28 day prior notification procedure (under Part 6, Class A(a)/Class B(a)) since March 2013 or within the preceding 10 years before intending to carry out the conversion under Class Q, whichever is the lesser, these regulations will not apply and full planning permission will be required.
- Where you have carried out a conversion under the new provision (Class Q) it will remove your agricultural permitted development rights for erecting or extending buildings for a period of 10 years, therefore any new agricultural buildings will need full planning permission.

A new section has been added to the National Planning Practise Guidance which clarifies how these proposals should be considered by the Local Planning Authority. This can be found at the following link:

<http://planningguidance.planningportal.gov.uk/blog/guidance/when-is-permissionrequired/what-are-permitted-development-rights/permitted-development-rights-for-thechange-of-use-of-agricultural-buildings/>

Advice to Tenant Farmer/Landlords

The regulations include certain criteria which seek to safeguard agricultural tenancies which could be affected where Landlords wish to carryout development under the provisions of Class Q. The safeguards consist of the following:

- If the site is under an agricultural tenancy express consent from both the landlord and tenant will be required before an application for prior notification can be submitted.
- Development under Class Q cannot be carried out where a tenancy has been terminated less than one year before an application for prior notification is made unless both the landlord and tenant have agreed in writing that the site is no longer required for agricultural use.

Types of Building for Conversion

Clarification on this has been introduced in the Planning Practice Guidance in March 2015 which states:

'The right allows for the installation or replacement of windows, doors, roofs, exterior walls, water, drainage, electricity, gas or other services to the extent reasonably necessary for the building to function as a dwelling house; and partial demolition to the extent reasonably necessary to carry out these building operations. It is not the intention of the permitted development right to include the construction of new structural elements for the building. Therefore it is only where the existing building is structurally strong enough to take the loading which comes with the external works to provide for residential use that the building would be considered to have the permitted development right.'

Where the LPA does not consider a building to be of a suitable structural condition to convert under the tests of the prior approval process, this may be tantamount to a reason for refusal. As such, on submission of an prior notification application Ryedale District Council request a short statement on how the building can be converted without alterations which exceed those in scope and scale to those identified in the Planning Practice Guidance.

How to apply

An application for prior notification must be submitted before any works of conversion are carried out. These must be submitted to Ryedale District Council's Planning Department where they will have consideration of:

- Transport and highway impact
- Noise impacts
- Contamination risk
- Flood risk
- Whether the location and siting of the building makes it otherwise impractical; or undesirable to be a dwelling – using the National Planning Policy Framework as a guide

There are two routes by which an application can be submitted:

Route 1: The first route is simply an application for prior notification for the principle of the change of use to be established under Class Q (a). If using this first route a further application under Class Q (b) will need to be submitted at a later date which seeks agreement of the design and external appearance of the conversion.

Route 2: The second route is effectively a detailed prior notification application which seeks the agreement of the principle of development and the detailed design and external appearance of the finished conversion (Class Q (a) and (b)). Below provides details of what will need to be provided.

What will you need to submit

The following will need to be submitted to validate the application:

- A completed application form
- Plans indicating the site and showing the proposed development;
 - * Location Plan (scale 1:2500 or 1:1250) with site outlined in red (including access to the highway which will serve the development.
 - * Block Plan (scale 1:500) or Site Plan (scale 1:200) which shows any parking and garden area which will serve the dwelling.
 - * Existing elevations and floor plans at scale of 1:50 or 1:100
 - * Proposed elevations and floor plans at a scale of 1:50 or 1:100.
- The completed Planning Application Additional Information Requirement Form, which is required to establish what, if any, Community Infrastructure Levy (CIL) liability is payable on the scheme.
(Please note that if consent is permitted, the Council will require prior to any commencement of works, the Notice of Chargeable Development). Please see advice on the Council's website for Ryedale's CIL charging Regime and the Planning Portal about the CIL Charge generally).
- If within Flood Zone 2 or 3 a site-specific flood risk assessment
- Protected Species Survey
- A statement detailing the extent of building works required convert the structure to a dwellinghouse.
- An £80 fee if submitting for Class Q (a) or an £172 fee if submitting for Class Q (b) following approval of (a) or submitting for Class Q (a) & (b).
- Additional details required for design and external appearance (either as part of route 2 above or following an application by route 1 being approved)
- The Local Planning Authority to request information in order to determine the application which may include:
 - Assessments of risks or impacts
 - Statements setting out how impacts or risks are to be mitigated
 - Details of proposed operational development

Under these provisions whilst not expressly referred to as one of the prior approval issues for the council to consider, ecology remains a key factor in the conversion of rural buildings. Section 40 of the Natural Environment and Rural Communities Act 2006 (NERC) requires all public bodies to have regard to biodiversity conservation when carrying out their functions. In the exercise of its functions the Council is also required to have regard to the requirements of The Conservation of Habitats and Species Regulations 2010 (as amended) (Habitats Regulations).

The council believes that implications for protected species should be considered as “impacts or risks”. It is also noted that prior approval applications are required to be determined with regard to the requirements of the NPPF which also requires decisions to be taken with regard to protected species. Accordingly, the council will require a prior approval application to be accompanied by an appropriate assessment of the potential impact upon protected species and a mitigation strategy if there are protected species at risk of harm from the development. This could include for example, Barn Owls, Bats and Breeding Birds. Further information can be found at:

<https://www.gov.uk/guidance/protected-species-how-to-review-planning-applications>

What happens once an application is submitted

Once you have submitted an application to the Council you will receive notification when the application has been registered as valid. If any further information is required to validate the application a member of our planning support team will be in contact to advise of what is required.

Once registered as valid the application will be assigned a case officer who will visit the site and post a site notice. The case officer will have 8 weeks in which to consider the proposals against the permitted development criteria in Class Q. You will receive written notification as to whether prior approval is given or refused before or on expiration of 8 weeks from when the application was registered as valid.



PRE-APPLICATION PLANNING & LISTED BUILDING ADVICE

GUIDANCE NOTES & CHARGES

Under the Local Government Act 2003, Ryedale District Council operates a scheme for charging for pre-application advice on certain types of development proposals. This note provides guidance in respect of the charges and procedures.

The charging regime relates to both meetings and written advice, and it has been devised so as to ensure that the level of charges are proportionate to the scale of the development.

The charges apply to all requests for planning advice received on or after 1 April 2011, where they are payable in accordance with the contents of this note.

The benefits of obtaining pre-application advice

The Council welcomes and encourages discussion before a developer submits an application, especially for a development of a major or complex scheme. The benefits of obtaining informal advice include the following:

- Understanding how national and local policies will be applied to development;
- Assisting in the preparation of proposals before formal submission, which, if the advice is followed, should reduce any unexpected delays and be more likely to result in a positive outcome;
- Enhanced officer responses in terms of quality and timelines;
- Establish a degree of certainty to developers over their proposal;
- Indicating those proposals that are completely unacceptable, so potentially saving the cost of pursuing a formal application;
- Reducing the time spent by professional advisors in working up a proposal;
- Identify if specialist input will be required.

In order that the Council can provide this service to a consistent and high standard, it has been decided that the cost of providing this service should, at least in part, be recovered directly and not fall as a general cost to the council taxpayer. The current statutory planning fees do not cover the cost of pre-application planning advice.

Information required

To ensure a high standard and consistent level of advice, it is important that sufficient information is supplied by the person/organisation making the enquiry. This information, together with the appropriate fee, must be provided before a meeting can be arranged and/or written advice given. The level of detail required will, in part, depend on the type and size of the proposed development, but as a minimum, the Council would normally expect the following to be submitted:

- A location plan (at a scale of 1:1250 or 1:2500) identifying the proposed site area;

- A proposed layout plan (at 1:200 or 1:500) showing how the proposed buildings/uses would be located on the site and how access would be obtained;
- If the proposal relates to a householder proposal, elevations and plans at least to scale 1:100;
- A full description of the proposal, including details of the proposed uses, floor areas/number of units and site area in hectares. (This information will help both with any advice and establishing the level of charge applicable);
- Details of the site or building as it exists, including site layout and existing uses/floor areas;
- Photographs of the site and its immediate surroundings;
- Where applicable, elevations or indicative drawings of proposed buildings, so that the proposed massing and design can be understood and assessed;
- The completed form available from the Council's offices and website;
- The appropriate fee.

The list above is not intended to be exhaustive, and particularly on more complex proposals, more information may be of assistance. This will depend on circumstances, but it could include surveys/initial assessments on matters such as trees, ecology, transport, flood risk or noise, and possibly a draft Design & Access Statement. Where guidance is sought on specific technical disciplines other than planning (in respect of a listed building for example), this should be identified when the request for advice is submitted, so that where a meeting is to be held, the appropriate participants can attend.

To provide clarity, those seeking pre-application advice will need to complete a simple form.

The Charging Categories & Fees Required

Householder and Listed Building advice in respect of extensions/alterations:

Written advice £50 + VAT or £70 + VAT if meeting required.

Other types of development:

Table 1

Categories	No. of dwellings	Floor Area (non-residential or mixed)	Site Area
Category 1	1 - 9	100 - 999 sq. m	Below 0.5 hectare
Category 2	10 - 49	1,000 - 1,999 sq. m	0.5 - 1.0 hectare
Category 3	50+	2,000 sq. m +	1 hectare +

The fees charged for these categories are set out in Table 2

Table 2

Category 1		Category 2		Category 3	
Written Advice Only					
£100 + £20 VAT = £120 total		£200 + £40 VAT = £240 total		£433 + £87 VAT = £520 total	
Package of Meeting(s) and Written Advice					
Package of 1 meeting, plus written advice	£200 + £40 VAT = £240 total	Package of up to 2 meetings, plus written advice	£400 + £80 VAT = £480 total	Package of up to 3 meetings, plus written advice	£866 + £174 VAT = £1,040 total

Payments can be made by cheque (payable to Ryedale District Council), and card payments can be made at the Cashiers Department at Ryedale House. Cash payments cannot be made.

Notes:

- Where a proposed development falls in more than one of the above categories, then the higher charge would be payable. (For example, if 40 dwellings are proposed on a site of 1.1 hectares, then it would fall within Category 3).
- For avoidance of doubt, gross floor areas should be calculated and measured externally. Floor areas (where applicable) should be calculated for both new-build and change of use.
- The charges would be applicable to new buildings/structure and changes of use of land or buildings and engineering operations where they fall within one of the above categories and require planning permission.
- Furthermore, guidance on Certificates of Lawful Development, material amendments to existing planning permissions, variation of conditions or Section 106 Agreements would be subject of the charges where the development would fall within one of the categories identified in Table 1 and this will be charged in accordance with Category 1.
- The charges would still apply to advice received following the refusal or withdrawal of an application, but prior to the submission of a new application.
- As well as pre-application advice provided by the Development Management team, the charges will also apply to advice and meetings involving the Forward Planning team with respect to matters relating to planning policy, which are intended to assist the submission of a planning application.

Environmental Impact Assessment ‘screening’ and ‘scoping’ letters would remain free of charge. Similarly, no charge would be made for advice where it solely consists of guidance as to the required contents of an application, as opposed to its planning merits.

There is no fee for alterations, extensions, etc. to a dwellinghouse for the benefit of a registered disabled person (proof of disability must be provided along with the request for advice).

The Service Provided

Once we have received a request for advice, you will receive confirmation, including a unique reference number which should be quoted in all correspondence with the Authority. If the Council needs more information or has any queries, it will contact you directly.

Once the Council has received and validated your request for planning advice, it will seek to respond within its normal workflow processes and timescales. A case officer will be identified, although this does not preclude other Council officers attending any subsequent meetings which are arranged. Under normal circumstances, the Council will seek to respond to written advice or set up the first meeting within 28 working days. However, the time taken to respond will, in part, depend on the complexity of the case and where a meeting is requested, the availability of all relevant parties to attend may affect how quickly it can be set up.



NORTH YORKSHIRE PLANNING AUTHORITIES VALIDATION REQUIREMENTS

RDC1 : HOUSEHOLDER APPLICATION FOR PLANNING PERMISSION

For any application to be registered as a valid application it must be accompanied by the relevant forms, plans and supporting documents which are necessary to provide sufficient information for the application to be properly considered and determined. These notes and the document "Validation Requirements for Planning and Other Applications Submitted under the Town and Country Planning Acts" which can be obtained from the Authority's web site, are intended to guide you in putting your application together. We can only accept your application as legally valid if all the necessary information is provided to an acceptable standard.

Unless submitted electronically, one original with two copies of the application form, plans and supporting documents must be provided.

Please return this form with your application with all relevant boxes ticked to illustrate the material submitted as part of the application.

		√
1. FORMS		
Completed application form (signed and dated)		
2. PLANS with all dimensions in metres on all plans and drawings		
Location Plan at a scale of 1:1250 or 1:2500 to show:	The direction of North	
	Application site edged red/other land owned by the applicant edged blue	
	Wherever possible, at least 2 named roads and surrounding buildings	
Block Plan at a scale of 1:100, 1:200 or 1:500	The direction of North	
	Any site boundaries	
	The works as proposed, for example house extension, detached outbuilding or vehicular access . The position of any building or structure on the other side of such boundaries, or within the site.	
	The type and height of boundary treatment	
	Where relevant, details of surfacing and proposed materials for parking areas	
Existing and proposed elevations at a scale of 1:50 or 1:100 to show:	The works in relation to what is already there	
	All sides of the proposal (blank elevations should also be included)	
	The proposed building materials and the style, materials and finish of the windows and doors	

Existing and proposed floor plans to a scale of 1:50 or 1:100 to show:	Where existing wall or buildings are to be demolished these should be clearly shown	
	Details of the existing building(s) as well as the proposed development	
	New buildings in context with adjacent buildings	
Existing and proposed site sections and finished floor and site levels to a scale of 1:50 or 1:100	Where a proposal involves a change in ground levels, illustrative drawings should be submitted to show both existing and finished floor levels to include details of foundations and eaves.	
	For applications involving new buildings, information to demonstrate how proposed buildings relate to existing site levels (with reference to a fixed datum point) and neighbouring development.	
	In the case of a sloping site, show how proposals relate to existing ground levels or where ground levels outside the extension would be modified	
Roof plans	Where appropriate, at a scale of 1:50 or 1:100 to show details such as the roofing material, roof windows- their location and means of opening	
3. CERTIFICATES		
Ownership (with Agricultural Holdings) Certificate Completed	Correct certificate – A, B, C or D as required	
4. FEE		
Appropriate fee. For guidance refer to A Guide to the Fees for Planning Applications in England 15 April 2015. Additional information is available on the Planning Portals Guidance "Fees for planning applications".		
5. DESIGN AND ACCESS STATEMENT		
Only required if the development involves new building(s) with more than 100 sq. m. of floor space and any part of the development is within a designated area (i.e. Conservation Area or World Heritage Site).		
6. OTHER REQUIREMENTS		
Biodiversity/Geological Survey and Assessment Report	The Planning Authority must (as required by the NERC Act 2006) consider the conservation of biodiversity when determining a planning application – this includes having regard to the safeguarding of species protected under the Wildlife and Countryside Act 1981; the Conservation of Habitats and Species Regulations 2010; or the Badgers Act 1992; as well as designated sites and priority habitats. Where a proposed development is likely to affect protected species, a designated site, priority habitat or geological feature, the application must be accompanied by a Biodiversity/Geological Survey and Report. http://www.ryedale.gov.uk/attachments/article/330/Protected_species_and_habitats_form.pdf	
Community Infrastructure Levy	Certain types of development are liable for the Community Infrastructure Levy. This is a land charge, calculated by floor space. Where development is for residential development (including extensions) is taking place the Planning Application Additional Information Requirement form should be completed, unless the proposed extension is less than 100 sq m.	

Parking Assessment	Where a scheme reduces the available parking space or turning space or changes access arrangements or significantly increases the size of a property and therefore has the potential to increase the demand for parking, applicants should provide details of how access will be provided and what arrangements are to be made to ensure that safe access and egress can be achieved and the reasonable parking demands are met within the application site.	
Statement of Community Involvement	<p>Applicants are encouraged to submit a supporting statement setting out how neighbours have been consulted on the proposal, in accordance with the Council's Statement of Community Involvement. Examples of information helpful to supply in a Statement of Community Involvement are :</p> <ul style="list-style-type: none"> • Records of discussions/correspondence giving the date, time and place of discussions with whom and what issues were raised, what responses given at the time and what amendments have been made to address those concerns. • Whether amendments have been the subject of further discussion. 	
Tree Survey / Arboricultural Implications, where:	Any external works (if applicable) result in works being carried out within 10 metres of the crown spread of any tree covered by a Tree Preservation Order (TPO)	
	Any external works (if applicable) result in works being carried out within 10 metres of the crown spread of any tree within a conservation area.	



NORTH YORKSHIRE PLANNING AUTHORITIES VALIDATION REQUIREMENTS

RDC2 : APPLICATION FOR OUTLINE* OR FULL PLANNING PERMISSION

*** The information required for Outline Applications is subject to whether any matters are reserved to be determined at the Reserved Matters stage.**

Matters that can be reserved are:

- (a) access;**
- (b) appearance;**
- (c) landscaping;**
- (d) layout; and**
- (e) scale.**

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Unless submitted electronically, one original with two copies of the application form, plans and supporting documents must be provided.

Please return this form with your application with all relevant boxes ticked to illustrate the material submitted as part of the application.

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1. FORMS		
Completed application form (signed and dated)		
2. PLANS with all dimensions in metres on all plans and drawings (subject to any matters reserved)		
Location Plan at a scale of 1:1250 or 1:2500 to show:	The direction of North	
	Application site edged red/other land owned by the applicant edged blue	
	Wherever possible, at least 2 named roads and surrounding buildings	
Block Plan at a scale of 1:100, 1:200 or 1:500 to show:	The direction of North	
	Any site boundaries	
	The proposed buildings/structures, Vehicular access; The position of any building or structure on the other side of such boundaries, and any buildings on site	
	The type and height of boundary treatment	

	Where relevant, details of surfacing and proposed materials for parking areas	
Existing and proposed elevations at a scale of 1:50 or 1:100 to show:	The works in relation to what is already there	
	All sides of the proposal (blank elevations should also be included)	
	The proposed building materials and the style, materials and finish of the windows and doors	

Existing and proposed floor plans to a scale of 1:50, 1:100 or 1:200 to show:	Where existing wall or buildings are to be demolished these should be clearly shown	
	Details of the existing building(s) as well as the proposed development	
	New buildings in context with adjacent buildings	
Existing and proposed site sections and finished floor and site levels to a scale of 1:50 or 1:100	Where a proposal involves a change in ground levels, illustrative drawings should be submitted to show both existing and finished floor levels to include details of foundations and eaves.	
	For applications involving new buildings, information to demonstrate how proposed buildings relate to existing site levels (with reference to a fixed datum point) and neighbouring development.	
	In the case of a sloping site, show how proposals relate to existing ground levels or where ground levels outside the extension would be modified	
Roof plans	Where appropriate, at a scale of 1:50, 1:100 or 1:200 to show details such as the roofing material roof windows- their location and means of opening	

3. CERTIFICATES

Ownership (with Agricultural Holdings) Certificate Completed	Correct certificate – A, B, C or D as required (see information sheet)	
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4. FEE

Appropriate fee. For guidance refer to: A Guide to the Fees for Planning Applications in England 15 April 2015. Additional information is available on the Planning Portals Guidance "Fees for planning applications".

5. DESIGN AND ACCESS STATEMENT

Required for any proposal that is a “major” development or if the development involves either the provision of one or more dwellings or new building(s) with more than 100 sq. m. of floor space and any part of the development is within a designated area (i.e. Conservation Area or World Heritage Site). For detailed guidance on the requirements for a Design and Access Statement refer to pages 14 and 15 of our main Validation Requirements Document.

6. OTHER REQUIREMENTS

Affordable Housing Statement	This will be required for housing developments where the number of units exceeds the threshold set out in the Authority’s Affordable Housing Policy for on-site provision of affordable housing, or it is a type of development where a commuted sum is required.	
Air Quality Assessment	Where the development is proposed inside, or adjacent to an Air Quality Management Area (AQMA), or where the development could in itself result in the designation of an AQMA or where the grant of planning permission would conflict with, or render unworkable, elements of the Local Authority’s Air Quality Action Plan, applications should be supported by such information as is necessary to allow a full consideration of the impact of the proposal on the air quality of the area. Where AQMAs cover regeneration areas, developers should provide an Air Quality Assessment as part of the planning application.	
Biodiversity/Geological Survey and Assessment Report	The Planning Authority must consider (as required by the NERC Act 2006) the conservation of biodiversity when determining a planning application – this includes having regard to the safeguarding of species protected under the Wildlife and Countryside Act 1981; the Conservation of Habitats and Species Regulations 2010; or the Badgers Act 1992; as well as designated sites and priority habitats. Where a proposed development is likely to affect protected species, a designated	

	site, priority habitat or geological feature, the application must be accompanied by a Biodiversity/Geological Survey and Report. http://www.ryedale.gov.uk/attachments/article/330/Protected_species_and_habitats_form.pdf
Community Infrastructure Levy	Certain types of development are liable for the Ryedale District Council Community Infrastructure Levy Charge. Where development is for residential development, for supermarket development, or for retail warehouses, in the first instance the 'Planning Application Additional Information Requirement Form' must be completed for full planning permission. In Outline applications, this form may have been undertaken, depending on what matters were not to be reserved. The Council will need to be satisfied that there are no changes to the floorspace of the proposals when the Reserved Matters are submitted, and the CIL Liability is formally established.

Flood Risk Assessment	<p>The need for a Flood Risk Assessment depends upon which Zone, defined by the Environment Agency, applies. Generally if the site is within Zone 1 and is less than 1 ha in size then a Flood Risk Assessment is not required. Details of the Zones and the Environment Agency's requirements can be found on the Environment Agency's web site. Currently, this will require a Flood Risk Assessment for:</p> <ul style="list-style-type: none"> • Any development of 1 hectare or more in Flood Zone 1 (to consider surface water drainage); and, • All proposals for development in Flood Zones 2 and 3 (including a change of use to a more vulnerable class of use) where required under Flood Risk Standing Advice as issued by the Environment Agency. <p>All proposals in High Risk Flood Zones must include information about alternative sites that have been considered in order to support a sequential test for the proposed development.</p>
Foul Sewerage and Utilities Assessment	<p>Details of drainage should be provided for both foul and surface water. You may need to contact Yorkshire Water to establish where the drains are. Their web site address is www.yorkshirewater.co.uk Applicants are encouraged to minimise the effect of surface water run-off in the planning of new developments through the use of sustainable drainage systems. Advice on this can be found on the Environment Agency's web site at www.environment-agency.gov.uk</p> <p>For major and complex schemes a statement must be provided which demonstrates that :-</p> <ol style="list-style-type: none"> a) The availability of utility services (gas, electricity, telecommunications water, and foul and surface water sewage disposal (taking into account the capacity of the receiving water treatment works) has been examined and would not result in undue stress on the delivery of those services to the wider community, b) Proposals incorporate any utility company requirements for substations, telecommunications equipment or similar structures, c) The service routes have been planned to avoid as far as possible the potential for damage to trees and archaeological remains. <p>Any development proposing non-mains drainage should include an assessment as required by the National Planning Guidance (Planning Requirements in Respect of the Use of Non-Mains Drainage in New Development) including, where appropriate, results of a percolation test</p>
Heritage Statement (including historical, archaeological features and Scheduled Ancient Monuments)	<p>A Heritage Statement will need to accompany an application if it affects a Listed Building, Conservation Area, Historic Park or Garden, Registered Battlefield, World Heritage Site, Scheduled Monument or their setting. They may also be required where the development would have an impact upon archaeological remains. Where a local list exists and a building is considered to be of historic interest, though not a listed building, the following information may be required -</p> <ul style="list-style-type: none"> • Context/street-scene elevations where significant extensions are proposed on public elevations. • Photographs/photomontages of elevations. • Structural survey where the application proposes demolition or significant alterations to the structure of the building. <p>Where the site is located within, or within the setting of, a Conservation Area it is expected that a statement will be submitted with any application about how the development relates to the Conservation Area, having regard to any Conservation Area Appraisal Document that may have been prepared by the Council. Details of the Council's Conservation Areas and Appraisal Documents can be found on the web site.</p>

Hydrogeological Risk Assessment	This will only be required where it has been identified that the application site is on a Ground Source Protection Zone. Further details are provided in the accompanying information section.	
Land Contamination Assessment	Where contamination is known or suspected, or the proposed use would be particularly vulnerable (e.g. housing with gardens, schools, nurseries or allotments), a contamination assessment should be provided. If necessary, information should be provided on the levels and extent of the contamination and how it is to be remediated in order to enable a determination to be made on whether or not a proposed development can proceed. In some situations, a preliminary risk assessment may be appropriate comprising a desk study, walk-over site reconnaissance and conceptual model (identifying potential pollutant sources, pathways and receptors as a basis for assessing risks and appraising options for remediation).	
Landscape	Applications for types of development which have the potential to impact on the landscape significantly, or have been identified as being subject to EIA where there is an identified landscape impact would need to be accompanied by landscaping details in the form of a Landscape and Visual Impact Assessment (LVIA). This should include proposals for long term maintenance and landscape management. There should be reference to landscaping and detailed landscaping proposals which follow from the design concept in the Design and Access Statement, if required. Existing trees and other vegetation should, where practicable, be retained in new developments and protected during the construction of the development.	
Land Stability/Geotechnical Report and/or Coal Mining Risk Assessment	<p>For new developments that are on or adjacent to land which is known or suspected to be unstable, a report by an appropriately qualified engineer shall be submitted giving details of how land conditions are to be dealt with during the course of the development. Where the reports show that there is potential for instability details of arrangements for monitoring of ground water shall be submitted together with details of any necessary remediation details to prevent future landslips.</p> <p>All non-householder applications falling within a Coal Mining Referral Area (as defined by the Coal Authority and held by the Local Planning Authority) must be accompanied by a Coal Mining Risk Assessment prepared by a suitably qualified and competent person. The risk assessment should contain :</p> <ul style="list-style-type: none"> • Site specific coal mining information – including past/present/future underground mining, shallow coal workings, mine entries (shafts or adits), mine gas and any recorded surface hazards. • Assessment of risks – identify what risks (including cumulative effects) this information pose to the proposed development. • Mitigation measures – identify how coal mining issues have influenced the proposed development (including any changes that have been incorporated into the development) and whether any other mitigation measures are required to manage those issues. <p>Any development that involves intrusive activities which intersect, disturb or enter any coal seams, coal mine workings or mine entries will require the prior written permission of the Coal Authority.</p>	
Lighting Assessment	If the application involves significant new lighting, in terms of floodlighting, or lighting to car parks or open land, then a lighting assessment prepared by a suitably qualified lighting engineer will be required both to minimise the effect upon nearby residential properties and ensure that light pollution is minimised. Particular care will be needed with lighting in the countryside. Further advice on this can be found in Planning Practice Guidance website.	
Noise Impact Assessment	Application proposals that raise issues of disturbance or are considered to be a noise sensitive development in what are considered to be noise sensitive areas should be supported by a Noise Impact Assessment prepared by a suitably qualified acoustician. In some cases a noise assessment may be required for domestic wind turbines. Further policy guidance is provided in the National Planning Policy Framework (March 2012). Application proposals that raise specific issues regarding vibration should be supported by a Vibration Impact Assessment prepared by a suitably qualified acoustician.	
Open Space Assessment	For development on public or private open space or recreation areas, applications should be accompanied by plans showing existing or proposed open space within or adjoining the application site. Applicants would need to demonstrate as part of the assessment that the land or buildings are surplus to requirements. It is also expected that with certain residential schemes, new open space will either be provided on site or a commuted sum paid towards up-grading existing facilities or	

	making new provision on a different site. Information on open space requirements in respect of residential schemes can be found on the Council's web site.	
Parking Provision	Existing and proposed details of parking and access need to be provided for all new developments and clearly shown on the submitted plans. If no parking is to be provided, this should be clearly stated. All new developments should have access to a public highway shown in red as part of the application site.	
Photographs and Photomontages	These are not essential but can be helpful to members of the public, Officers and Councillors in understanding the context of the application. Photographs are expected to support major or complex schemes or proposals in sensitive locations.	
Planning Obligations/Draft Heads of Terms	Planning Obligations or "Section 106 Agreements" are private agreements negotiated between Local Planning Authorities and persons with an interest in a piece of land. Agreements are usually required in connection with major or complex schemes and occasionally with certain minor developments.	
Planning and Sustainability Statement	This will usually be required in connection with major or complex schemes and will usually assess how the scheme accords with relevant national, regional and local planning policies as well as explaining the context and background to the development. Proposals affecting theatres will require justification to enable the Theatres Trust to consider the effects of the development. In the interests of making a difference to climate change, applicants will be expected to demonstrate how their proposals are making best use of renewable energy such as solar or wind power and/or using best practical means to reduce the carbon footprint of all new buildings. For all new residential developments applicants will be expected to have regard to Sustainable Buildings and construction. Applications for "major" developments should be accompanied by an Energy Statement which sets out the predicted energy consumption of the development along with any planned low or zero carbon energy sources, and to show that the Energy Hierarchy of the SP18 of the Local Plan Strategy has been considered by looking at reducing energy consumption on the site. Applicants should provide details of how refuse will be dealt with, including provision of bin stores and re-cycling arrangements. Additional employment arising from the development can be highlighted.	
Statement of Need for Agricultural Dwellings	Where a new agricultural dwelling is proposed a statement of the functional and financial need for the new dwelling unit in accordance with recognised practice.	
Structural Survey	Structural surveys will be required in cases where it needs to be demonstrated that either a building is capable of being retained and converted, or that a building is incapable of conversion and needs to be removed. In either case factual evidence will be required to support the case	
Town Centre Uses (Evidence to Accompany Applications for Main Town Centre Uses)	The National Planning Policy Framework (March 2012) , provides policy guidance seeking to ensure the vitality of town centres. The Local Plan Strategy sets out when impact assessments are required: Any application for more than 500 sq. m. of comparison retail only schemes, 750 sq. m of convenience only schemes, or where the scheme is a combination of convenience or comparison, the threshold is set at 1000 sq. m of the total retail gross floor space, which is development outside of a defined town centre and not in accordance with the Local Plan Strategy should be accompanied by an impact assessment to examine : <ul style="list-style-type: none"> • The impact of the proposal on existing, committed and planned public and private investment in a centre or centres in the catchment area of the proposal; and, • The impact of the proposal on town centre vitality and viability, including local consumer choice and trade in the town centre(s) and wider area, up to at least 5 years from the time the application is made. 	
Transport Assessment	A Transport Assessment (TA) or Transport Statement should be submitted as part of any planning application where the proposed development would generate significant amounts of movement ¹ . The coverage and detail of the Statement or Assessment should reflect the scale of the development and the extent of the	

¹ **Major Schemes Requiring Transport Assessments**

Development	Site Area	Gross Floor Area or Number of Units
Food Retail	0.2 Ha.	1,000 sq. m.
Non-food Retail	0.8 Ha.	1,000 sq. m.
Office (B1)	0.8 Ha.	2,500 sq. m.
Industry (B2/B8)	2.0 Ha.	6,000 sq. m.
Residential	1.0 Ha.	80 units
Other	60+ vehicle movements in any hour	

	transport implications of the proposal.	
Travel Plan	Where developments are likely to generate significant additional traffic or journeys to work a Travel Plan will be required	
Ventilation/Extraction Statement	Details of the position and design of ventilation and extraction equipment including odour abatement techniques and acoustic noise characteristics will be required to accompany applications for restaurants and cafés, pubs, wine bars, other drinking establishments and hot food takeaways. This information may be required for significant retail, business, industrial or leisure developments where substantial ventilation or extraction equipment is proposed. Advice on suitable ventilation and extraction equipment can be obtained from the Environmental Health team	



NORTH YORKSHIRE PLANNING AUTHORITIES VALIDATION REQUIREMENTS

RDC2 : APPLICATION FOR OUTLINE* OR FULL PLANNING PERMISSION

*** The information required for Outline Applications is subject to whether any matters are reserved to be determined at the Reserved Matters stage.**

Matters that can be reserved are:

- (a) access;**
- (b) appearance;**
- (c) landscaping;**
- (d) layout; and**
- (e) scale.**

For any application to be registered as a valid application it must be accompanied by the relevant forms, plans and supporting documents which are necessary to provide sufficient information for the application to be properly considered and determined. These notes and the document "Validation Requirements for Planning and Other Applications Submitted under the Town and Country Planning Acts" which can be obtained from the Authority's web site, are intended to guide you in putting your application together. We can only accept your application as legally valid if all the necessary information is provided to an acceptable standard.

Unless submitted electronically, one original with two copies of the application form, plans and supporting documents must be provided.

Please return this form with your application with all relevant boxes ticked to illustrate the material submitted as part of the application.

		√
1. FORMS		
Completed application form (signed and dated)		
2. PLANS with all dimensions in metres on all plans and drawings (subject to any matters reserved)		
Location Plan at a scale of 1:1250 or 1:2500 to show:	The direction of North	
	Application site edged red/other land owned by the applicant edged blue	
	Wherever possible, at least 2 named roads and surrounding buildings	
Block Plan at a scale of 1:100, 1:200 or 1:500 to show:	The direction of North	
	Any site boundaries	
	The proposed buildings/structures, Vehicular access; The position of any building or structure on the other side of such boundaries, and any buildings on site	
	The type and height of boundary treatment	

	Where relevant, details of surfacing and proposed materials for parking areas	
Existing and proposed elevations at a scale of 1:50 or 1:100 to show:	The works in relation to what is already there	
	All sides of the proposal (blank elevations should also be included)	
	The proposed building materials and the style, materials and finish of the windows and doors	

Existing and proposed floor plans to a scale of 1:50, 1:100 or 1:200 to show:	Where existing wall or buildings are to be demolished these should be clearly shown	
	Details of the existing building(s) as well as the proposed development	
	New buildings in context with adjacent buildings	
Existing and proposed site sections and finished floor and site levels to a scale of 1:50 or 1:100	Where a proposal involves a change in ground levels, illustrative drawings should be submitted to show both existing and finished floor levels to include details of foundations and eaves.	
	For applications involving new buildings, information to demonstrate how proposed buildings relate to existing site levels (with reference to a fixed datum point) and neighbouring development.	
	In the case of a sloping site, show how proposals relate to existing ground levels or where ground levels outside the extension would be modified	
Roof plans	Where appropriate, at a scale of 1:50, 1:100 or 1:200 to show details such as the roofing material roof windows- their location and means of opening	

3. CERTIFICATES

Ownership (with Agricultural Holdings) Certificate Completed	Correct certificate – A, B, C or D as required (see information sheet)	
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4. FEE

Appropriate fee. For guidance refer to: A Guide to the Fees for Planning Applications in England 15 April 2015. Additional information is available on the Planning Portals Guidance "Fees for planning applications".

5. DESIGN AND ACCESS STATEMENT

Required for any proposal that is a "major" development or if the development involves either the provision of one or more dwellings or new building(s) with more than 100 sq. m. of floor space and any part of the development is within a designated area (i.e. Conservation Area or World Heritage Site). For detailed guidance on the requirements for a Design and Access Statement refer to pages 14 and 15 of our main Validation Requirements Document.

6. OTHER REQUIREMENTS

Affordable Housing Statement	This will be required for housing developments where the number of units exceeds the threshold set out in the Authority's Affordable Housing Policy for on-site provision of affordable housing, or it is a type of development where a commuted sum is required.	
Air Quality Assessment	Where the development is proposed inside, or adjacent to an Air Quality Management Area (AQMA), or where the development could in itself result in the designation of an AQMA or where the grant of planning permission would conflict with, or render unworkable, elements of the Local Authority's Air Quality Action Plan, applications should be supported by such information as is necessary to allow a full consideration of the impact of the proposal on the air quality of the area. Where AQMAs cover regeneration areas, developers should provide an Air Quality Assessment as part of the planning application.	
Biodiversity/Geological Survey and Assessment Report	The Planning Authority must consider (as required by the NERC Act 2006) the conservation of biodiversity when determining a planning application – this includes having regard to the safeguarding of species protected under the Wildlife and Countryside Act 1981; the Conservation of Habitats and Species Regulations 2010; or the Badgers Act 1992; as well as designated sites and priority habitats. Where a proposed development is likely to affect protected species, a designated	

	site, priority habitat or geological feature, the application must be accompanied by a Biodiversity/Geological Survey and Report. http://www.ryedale.gov.uk/attachments/article/330/Protected_species_and_habitats_form.pdf
Community Infrastructure Levy	Certain types of development are liable for the Ryedale District Council Community Infrastructure Levy Charge. Where development is for residential development, for supermarket development, or for retail warehouses, in the first instance the 'Planning Application Additional Information Requirement Form' must be completed for full planning permission. In Outline applications, this form may have been undertaken, depending on what matters were not to be reserved. The Council will need to be satisfied that there are no changes to the floorspace of the proposals when the Reserved Matters are submitted, and the CIL Liability is formally established.

Flood Risk Assessment	<p>The need for a Flood Risk Assessment depends upon which Zone, defined by the Environment Agency, applies. Generally if the site is within Zone 1 and is less than 1 ha in size then a Flood Risk Assessment is not required. Details of the Zones and the Environment Agency's requirements can be found on the Environment Agency's web site. Currently, this will require a Flood Risk Assessment for:</p> <ul style="list-style-type: none"> Any development of 1 hectare or more in Flood Zone 1 (to consider surface water drainage); and, All proposals for development in Flood Zones 2 and 3 (including a change of use to a more vulnerable class of use) where required under Flood Risk Standing Advice as issued by the Environment Agency. <p>You may need to carry out a sequential test as part of your FRA if both of the following points apply:</p> <ul style="list-style-type: none"> The development is within flood zone 2 or 3 A sequential test hasn't already been applied on the proposed site for a development of the same type. <p>If the sequential test shows that it isn't possible to use an alternative site, the exception test should be carried out for developments that are:</p> <ul style="list-style-type: none"> In flood zone 2 and are classed as highly vulnerable More vulnerable in flood zone 3a or are essential infrastructure developments in flood zone 3a or 3b <p>All proposals in High Risk Flood Zones must include information about alternative sites that have been considered in order to support a sequential test for the proposed development</p> <p>For more information and guidance on the sequential and exception tests please see the Environment Agency website.</p>
Foul Sewerage and Utilities Assessment	<p>Details of drainage should be provided for both foul and surface water. You may need to contact Yorkshire Water to establish where the drains are. Their web site address is www.yorkshirewater.co.uk Applicants are encouraged to minimise the effect of surface water run-off in the planning of new developments through the use of sustainable drainage systems. Advice on this can be found on the Environment Agency's web site at www.environment-agency.gov.uk</p> <p>For major and complex schemes a statement must be provided which demonstrates that :-</p> <ol style="list-style-type: none"> The availability of utility services (gas, electricity, telecommunications water, and foul and surface water sewage disposal (taking into account the capacity of the receiving water treatment works) has been examined and would not result in undue stress on the delivery of those services to the wider community, Proposals incorporate any utility company requirements for substations, telecommunications equipment or similar structures, The service routes have been planned to avoid as far as possible the potential for damage to trees and archaeological remains. <p>Any development proposing non-mains drainage should include an assessment as required by the National Planning Guidance (Planning Requirements in Respect of the Use of Non-Mains Drainage in New Development) including, where</p>

	appropriate, results of a percolation test	
Heritage Statement (including historical, archaeological features and Scheduled Ancient Monuments)	<p>A Heritage Statement will need to accompany an application if it affects a Listed Building, Conservation Area, Historic Park or Garden, Registered Battlefield, World Heritage Site, Scheduled Monument or their setting. They may also be required where the development would have an impact upon archaeological remains. Where a local list exists and a building is considered to be of historic interest, though not a listed building, the following information may be required -</p> <ul style="list-style-type: none"> • Context/street-scene elevations where significant extensions are proposed on public elevations. • Photographs/photomontages of elevations. • Structural survey where the application proposes demolition or significant alterations to the structure of the building. <p>Where the site is located within, or within the setting of, a Conservation Area it is expected that a statement will be submitted with any application about how the development relates to the Conservation Area, having regard to any Conservation Area Appraisal Document that may have been prepared by the Council. Details of the Council's Conservation Areas and Appraisal Documents can be found on the web site.</p>	
Hydrogeological Risk Assessment	This will only be required where it has been identified that the application site is on a Ground Source Protection Zone. Further details are provided in the accompanying information section.	
Land Contamination Assessment	Where contamination is known or suspected, or the proposed use would be particularly vulnerable (e.g. housing with gardens, schools, nurseries or allotments), a contamination assessment should be provided. If necessary, information should be provided on the levels and extent of the contamination and how it is to be remediated in order to enable a determination to be made on whether or not a proposed development can proceed. In some situations, a preliminary risk assessment may be appropriate comprising a desk study, walk-over site reconnaissance and conceptual model (identifying potential pollutant sources, pathways and receptors as a basis for assessing risks and appraising options for remediation).	
Landscape	Applications for types of development which have the potential to impact on the landscape significantly, or have been identified as being subject to EIA where there is an identified landscape impact would need to be accompanied by landscaping details in the form of a Landscape and Visual Impact Assessment (LVIA). This should include proposals for long term maintenance and landscape management. There should be reference to landscaping and detailed landscaping proposals which follow from the design concept in the Design and Access Statement, if required. Existing trees and other vegetation should, where practicable, be retained in new developments and protected during the construction of the development.	
Land Stability/Geotechnical Report and/or Coal Mining Risk Assessment	<p>For new developments that are on or adjacent to land which is known or suspected to be unstable, a report by an appropriately qualified engineer shall be submitted giving details of how land conditions are to be dealt with during the course of the development. Where the reports show that there is potential for instability details of arrangements for monitoring of ground water shall be submitted together with details of any necessary remediation details to prevent future landslips.</p> <p>All non-householder applications falling within a Coal Mining Referral Area (as defined by the Coal Authority and held by the Local Planning Authority) must be accompanied by a Coal Mining Risk Assessment prepared by a suitably qualified and competent person. The risk assessment should contain :</p> <ul style="list-style-type: none"> • Site specific coal mining information – including past/present/future underground mining, shallow coal workings, mine entries (shafts or adits), mine gas and any recorded surface hazards. • Assessment of risks – identify what risks (including cumulative effects) this information pose to the proposed development. • Mitigation measures – identify how coal mining issues have influenced the proposed development (including any changes that have been incorporated into the development) and whether any other mitigation measures are required to manage those issues. <p>Any development that involves intrusive activities which intersect, disturb or enter any coal seams, coal mine workings or mine entries will require the prior written permission of the Coal Authority.</p>	

Lighting Assessment	If the application involves significant new lighting, in terms of floodlighting, or lighting to car parks or open land, then a lighting assessment prepared by a suitably qualified lighting engineer will be required both to minimise the effect upon nearby residential properties and ensure that light pollution is minimised. Particular care will be needed with lighting in the countryside. Further advice on this can be found in Planning Practice Guidance website.	
Noise Impact Assessment	Application proposals that raise issues of disturbance or are considered to be a noise sensitive development in what are considered to be noise sensitive areas should be supported by a Noise Impact Assessment prepared by a suitably qualified acoustician. In some cases a noise assessment may be required for domestic wind turbines. Further policy guidance is provided in the National Planning Policy Framework (March 2012). Application proposals that raise specific issues regarding vibration should be supported by a Vibration Impact Assessment prepared by a suitably qualified acoustician.	
Open Space Assessment	For development on public or private open space or recreation areas, applications should be accompanied by plans showing existing or proposed open space within or adjoining the application site. Applicants would need to demonstrate as part of the assessment that the land or buildings are surplus to requirements. It is also expected that with certain residential schemes, new open space will either be provided on site or a commuted sum paid towards up-grading existing facilities or making new provision on a different site. Information on open space requirements in respect of residential schemes can be found on the Council's web site.	
Parking Provision	Existing and proposed details of parking and access need to be provided for all new developments and clearly shown on the submitted plans. If no parking is to be provided, this should be clearly stated. All new developments should have access to a public highway shown in red as part of the application site.	
Photographs and Photomontages	These are not essential but can be helpful to members of the public, Officers and Councillors in understanding the context of the application. Photographs are expected to support major or complex schemes or proposals in sensitive locations.	
Planning Obligations/Draft Heads of Terms	Planning Obligations or "Section 106 Agreements" are private agreements negotiated between Local Planning Authorities and persons with an interest in a piece of land. Agreements are usually required in connection with major or complex schemes and occasionally with certain minor developments.	
Planning and Sustainability Statement	This will usually be required in connection with major or complex schemes and will usually assess how the scheme accords with relevant national, regional and local planning policies as well as explaining the context and background to the development. Proposals affecting theatres will require justification to enable the Theatres Trust to consider the effects of the development. In the interests of making a difference to climate change, applicants will be expected to demonstrate how their proposals are making best use of renewable energy such as solar or wind power and/or using best practical means to reduce the carbon footprint of all new buildings. For all new residential developments applicants will be expected to have regard to Sustainable Buildings and construction. Applications for "major" developments should be accompanied by an Energy Statement which sets out the predicted energy consumption of the development along with any planned low or zero carbon energy sources, and to show that the Energy Hierarchy of the SP18 of the Local Plan Strategy has been considered by looking at reducing energy consumption on the site. Applicants should provide details of how refuse will be dealt with, including provision of bin stores and re-cycling arrangements. Additional employment arising from the development can be highlighted.	
Statement of Need for Agricultural Dwellings	Where a new agricultural dwelling is proposed a statement of the functional and financial need for the new dwelling unit in accordance with recognised practice.	
Structural Survey	Structural surveys will be required in cases where it needs to be demonstrated that either a building is capable of being retained and converted, or that a building is incapable of conversion and needs to be removed. In either case factual evidence will be required to support the case	
Town Centre Uses (Evidence to Accompany Applications for Main Town Centre Uses)	The National Planning Policy Framework (March 2012), provides policy guidance seeking to ensure the vitality of town centres. The Local Plan Strategy sets out when impact assessments are required: Any application for more than 500 sq. m. of comparison retail only schemes, 750 sq. m of convenience only schemes, or where the scheme is a combination of convenience or comparison, the threshold is set at 1000 sq. m of the total retail gross floor space, which is development outside of a defined town centre and not in accordance with the Local Plan Strategy should be accompanied by an impact assessment to examine : <ul style="list-style-type: none"> The impact of the proposal on existing, committed and planned public and private investment in a centre or centres in the catchment area of the 	

	<p>proposal; and,</p> <ul style="list-style-type: none"> The impact of the proposal on town centre vitality and viability, including local consumer choice and trade in the town centre(s) and wider area, up to at least 5 years from the time the application is made. 	
Transport Assessment	A Transport Assessment (TA) or Transport Statement should be submitted as part of any planning application where the proposed development would generate significant amounts of movement ¹ . The coverage and detail of the Statement or Assessment should reflect the scale of the development and the extent of the transport implications of the proposal.	
Travel Plan	Where developments are likely to generate significant additional traffic or journeys to work a Travel Plan will be required	
Ventilation/Extraction Statement	Details of the position and design of ventilation and extraction equipment including odour abatement techniques and acoustic noise characteristics will be required to accompany applications for restaurants and cafés, pubs, wine bars, other drinking establishments and hot food takeaways. This information may be required for significant retail, business, industrial or leisure developments where substantial ventilation or extraction equipment is proposed. Advice on suitable ventilation and extraction equipment can be obtained from the Environmental Health team	

¹ **Major Schemes Requiring Transport Assessments**

Development	Site Area	Gross Floor Area or Number of Units
Food Retail	0.2 Ha.	1,000 sq. m.
Non-food Retail	0.8 Ha.	1,000 sq. m.
Office (B1)	0.8 Ha.	2,500 sq. m.
Industry (B2/B8)	2.0 Ha.	6,000 sq. m.
Residential	1.0 Ha.	80 units
Other	60+ vehicle movements in any hour	



NORTH YORKSHIRE PLANNING AUTHORITIES VALIDATION REQUIREMENTS

RDC3 : APPLICATION FOR APPROVAL OF RESERVED MATTERS

For any application to be registered as a valid application it must be accompanied by the relevant forms, plans and supporting documents which are necessary to provide sufficient information for the application to be properly considered and determined. These notes and the document "Validation Requirements for Planning and Other Applications Submitted under the Town and Country Planning Acts" which can be obtained from the Authority's web site, are intended to guide you in putting your application together. We can only accept your application as legally valid if all the necessary information is provided to an acceptable standard.

Unless submitted electronically, one original with two copies of the application form, plans and supporting documents must be provided.

Please return this form with your application with all relevant boxes ticked to illustrate the material submitted as part of the application.

		√
1. FORMS		
Completed application form (signed and dated)		
2. PLANS with all dimensions in metres on all plans and drawings		
Location Plan at a scale of 1:1250 or 1:2500 to show:	The direction of North	
	Application site edged red/other land owned by the applicant edged blue	
	Wherever possible, at least 2 named roads and surrounding buildings	
Block Plan at a scale of 1:100, 1:200 or 1:500 to show:	The direction of North	
	Any site boundaries	
	The proposed buildings/structures , Vehicular access; The position of any building or structure on the other side of such boundaries or on the site	
	The type and height of boundary treatment	
	Where relevant, details of surfacing and proposed materials for parking areas	
Existing and proposed elevations at a scale of 1:50 or 1:100 to show:	The works in relation to what is already there	
	All sides of the proposal (blank elevations should also be included)	
	Where possible, the proposed building materials and the style, materials and finish of the windows and doors	

Existing and proposed floor plans to a scale of 1:50, 1:100 or 1:200 to show:	Where existing wall or buildings are to be demolished these should be clearly shown	
	Details of the existing building(s) as well as the proposed development	
	New buildings in context with adjacent buildings	
Existing and proposed site sections and finished floor and site levels to a scale of 1:50, 1:100 or 1:200	Where a proposal involves a change in ground levels, illustrative drawings should be submitted to show both existing and finished floor levels to include details of foundations and eaves.	
	For applications involving new buildings, information to demonstrate how proposed buildings relate to existing site levels (with reference to a fixed datum point) and neighbouring development.	
	In the case of a sloping site, show how proposals relate to existing ground levels or where ground levels outside the extension would be modified	
Roof plans	Where appropriate, at a scale of 1:50, 1:100 or 1:200 to show details such as the roofing material and their location	
3. FEE		
Appropriate fee. For guidance refer to A Guide to the Fees for Planning Applications in England 15 April 2015. Additional information is available on the Planning Portals Guidance "Fees for planning applications".		
4. OTHER REQUIREMENTS		
Such particulars as are necessary to deal with the matters reserved in the outline planning permission. Refer to the Outline Planning Permission and refer to the accompanying guidance document to establish what information is required.		
Certain types of development are liable for the Ryedale District Council Community Infrastructure Levy Charge. Where development is for residential development, for supermarket development, or for retail warehouses, in the first instance the 'Planning Application Additional Information Requirement Form' must be completed. In some situations, this form may have been undertaken for the outline approval, depending on what matters were not to be reserved, but the Council will need to be satisfied that there are no changes to the floorspace of the proposals when the Reserved Matters are submitted, and the CIL Liability is formally established.		



NORTH YORKSHIRE PLANNING AUTHORITIES VALIDATION REQUIREMENTS
RDC4 : APPLICATION FOR LISTED BUILDING CONSENT

For any application to be registered as a valid application it must be accompanied by the relevant forms, plans and supporting documents which are necessary to provide sufficient information for the application to be properly considered and determined. These notes and the document "Validation Requirements for Planning and Other Applications Submitted under the Town and Country Planning Acts" which can be obtained from the Authority's web site, are intended to guide you in putting your application together. We can only accept your application as legally valid if all the necessary information is provided to an acceptable standard.

Unless submitted electronically, one original with two copies of the application form, plans and supporting documents must be provided.

Please return this form with your application with all relevant boxes ticked to illustrate the material submitted as part of the application.

		√
1. FORMS		
Completed application form (signed and dated)		
2. PLANS with all dimensions in metres on all plans and drawings		
Location Plan at a scale of 1:1250 or 1:2500 to show:	The direction of North	
	Application site edged red/other land owned by the applicant edged blue	
	Wherever possible, at least 2 named roads and surrounding buildings	
Block Plan at a scale of 1:100, 1:200, or 1:500 to show:	The direction of North	
	Any site boundaries	
	The works as proposed, for example extension, and its relationship to existing buildings on the site. The position of any building or structure on the other side of such boundaries	
Existing and proposed elevations at a scale of 1:50 or 1:100 to show:	The proposed works in relation to what is already there, including any openings in existing walls	
	All sides of the proposal (blank elevations should also be included)	
	The proposed building materials and the style, materials and finish of the windows and doors	
Existing and proposed floor plans to a scale of 1:50 or 1:100 to show:	Where existing walls or buildings are to be demolished these should be clearly shown	
	Details of the existing building(s) as well as the proposed works	
	New buildings in context with adjacent buildings	

Details of features plans to scale of 1:10 or 1:20	Plans to a scale between 1:10 or 1:20 to show all new doors, windows in plan and cross-section (and their reveal), stairs, shop-fronts, panelling, fireplaces, plaster moulding and other decorative details.
Existing and proposed site sections and finished floor and site levels to a scale of 1:50 or 1:100	Where a proposal involves a change in ground levels, illustrative drawings should be submitted to show both existing and finished floor levels to include details of foundations and eaves.
	For applications involving new buildings, information to demonstrate how proposed buildings relate to existing site levels (with reference to a fixed datum point) and neighbouring development.
	In the case of a sloping site, show how proposals relate to existing ground levels or where ground levels outside the extension would be modified
Roof plans	Where appropriate, at a scale of 1:50 or 1:100 to show details such as the roofing material, any openings (such as roof lights/dormers) and their location
3. CERTIFICATES	
Ownership Certificate Completed	Correct certificate – A, B, C or D as required
4. OTHER REQUIREMENTS	
Biodiversity Survey and Assessment Report	<p>Required where Listed Building Consent is sought and planning permission is not required. Significant alterations are proposed to the roof or where an empty building is to be subdivided or altered. This is necessary for the Local Planning authority to fulfil its obligations under the NERC Act 2006, and establish any impacts on protected species such as bats and barn owls. See information provided in:</p> <p>http://www.ryedale.gov.uk/attachments/article/330/Protected_species_and_habitats_form.pdf</p>
Heritage Statement	<p>A Heritage Statement (also referred to as a 'Statement of Significance and Impact') is required in all cases and is a document that is necessary to understand the potential impact (positive or negative) of the proposal on the significance of the Listed Building or structure, and any curtilage Listed features They should be completed to a level of thoroughness proportionate to the relative importance of the building or structure whose fabric or setting is affected.</p> <p>As a minimum, it will be necessary to undertake the following steps:</p> <ol style="list-style-type: none"> 1. Check the Local Development Plan, main local and national records including the relevant Historic Environment Record, statutory and local lists, the Heritage Gateway, the National Monuments Record, and other relevant sources of information that would provide an understanding of the history of the place and the value the Listed building or structure holds for society 2. Examine the Listed building or structure and its setting. This should comprise a thorough visual and physical analysis of the building or structure including its setting and context. 3. Consider whether the nature of the significance requires an expert assessment to gain the necessary level of understanding. <p>For further guidance on the application of policy in relation to the Historic Environment see the National Planning Policy Framework.</p> <p>Good practice would recommend that a Heritage Statement should contain:</p> <ul style="list-style-type: none"> • An analysis of the nature, extent and importance of the significance of the Listed building or structure in relation to the archaeological, architectural, artistic or historic interest associated with the building. • A description of those elements which contribute to the significance of the Listed building or structure likely to be affected by the proposals • An assessment of the contribution which the setting makes to that significance • An assessment of the likely impact which the proposals will have upon those elements which contribute to the significance of the Listed building/structure. • The principles of, and justification for, the proposed works.

	<p>The application should also include:</p> <ul style="list-style-type: none"> • A suitably detailed schedule of works to the Listed building or structure • Where an application site includes, or is likely to include, archaeological remains, the Heritage Statement will be expected to include an appropriate desk-based assessment of the impact which the proposals might have on these remains. <p>NOTE: Where a Design & Access Statement is also required, applicants can integrate their Statement of Significance & Impact into the Design & Access Statement or they can submit them as two separate Statements.</p> <p>Where the 'Statements' are to be integrated, full adherence to this guidance note, in relation to any application relating to a Designated Heritage Asset, should be made.</p> <p>Where the extent of the impact of the proposal on the significance of any heritage assets affected cannot adequately be understood from the application and supporting documents the application may not be validated. If an application is validated but is subsequently found to be deficient either in the depth or extent of the description of significance and the impacts, the Local Planning Authority has the power under Article 11 (3) The Town and Country Planning (Development Management Procedure) (England) Order 2015 to require further information from the applicant. This may include the assessment of the asset by an appropriately qualified expert.</p>	
Street scene or perspective elevations	Required where significant extensions are proposed on public elevations.	
Photographs/photomontages	Helpful to illustrate all affected elevations and details.	
Structural Survey	<p>Required where :</p> <ul style="list-style-type: none"> • the application proposes demolition or significant alterations to the structure of the building. • the proposed involves heavier floor loading (e.g. conversions). 	



NORTH YORKSHIRE PLANNING AUTHORITIES VALIDATION REQUIREMENTS
RDC5 : APPLICATION FOR ADVERTISEMENT CONSENT

For any application to be registered as a valid application it must be accompanied by the relevant forms, plans and supporting documents which are necessary to provide sufficient information for the application to be properly considered and determined. These notes and the document "Validation Requirements for Planning and Other Applications Submitted under the Town and Country Planning Acts" which can be obtained from the Authority's web site, are intended to guide you in putting your application together. We can only accept your application as legally valid if all the necessary information is provided to an acceptable standard.

Unless submitted electronically, one original with two copies of the application form, plans and supporting documents must be provided.

Please return this form with your application with all relevant boxes ticked to illustrate the material submitted as part of the application.

		√
1. FORMS		
Completed application form (signed and dated)		
2. PLANS with all dimensions in metres on all plans and drawings		
Location Plan at a scale of 1:1250 or 1:2500 to show:	A plan which identifies the land to which the application relates drawn to an identified scale, identifying the location of the site by reference to at least two named roads, identifying the proposed position of the advertisement(s) and showing the direction of North	
Existing and proposed elevations at a scale of 1:50 or 1:100 to show:	The advertisement(s) in relation to what is already there(position on the building, or in the site),	
Advertisement details at a scale of 1:20 or 1:50 to show:	Advertisement size, siting, materials and colours to be used, height above ground, extent of projection and details of the method and colour(s) of illumination (if applicable)	
2. FEE		
Appropriate fee. For guidance refer to A Guide to the Fees for Planning Applications in England 15 April 2015. Additional information is available on the Planning Portals Guidance "Fees for planning applications".		
3. OTHER REQUIREMENTS		
Photographs or photomontages	Helpful to illustrate the proposal in its context with other forms of advertisement or its appearance on the building/street scene.	



NORTH YORKSHIRE PLANNING AUTHORITIES VALIDATION REQUIREMENTS

RDC6 : APPLICATION FOR LAWFUL DEVELOPMENT CERTIFICATE

The burden of proof in a Lawful Development Certificate is firmly with the applicant and therefore sufficient and precise information should be provided

For any application to be registered as a valid application it must be accompanied by the relevant forms, plans and supporting documents which are necessary to provide sufficient information for the application to be properly considered and determined. These notes and the document "Validation Requirements for Planning and Other Applications Submitted under the Town and Country Planning Acts" which can be obtained from the Authority's web site, are intended to guide you in putting your application together. We can only accept your application as legally valid if all the necessary information is provided to an acceptable standard.

Unless submitted electronically, one original with two copies of the application form, plans and supporting documents must be provided.

Please return this form with your application with all relevant boxes ticked to illustrate the material submitted as part of the application.

		√
1. FORMS		
Completed application form (signed and dated)		
2. PLANS with all dimensions in metres on all plans and drawings		
Location Plan at a scale of 1:1250 or 1:2500 to show:	A plan which identifies the land to which the application relates drawn to an identified scale (see left); identifying the location of the site by reference to at least two named roads (where possible); showing the direction of North; and Application site edged red/other land owned by the applicant edged blue	
Existing and proposed elevations at a scale of 1:50 or 1:100 to show:	Where the application is for an existing or proposed development: All elevations of the buildings/structures	
Existing and proposed floor plans to a scale of 1:50 or 1:100	Where the application is for an existing or proposed development:	
Site Block Plan at a scale of 1:50, 1:100, 1:200, or 1:500	Where the application is for an existing or proposed development: The proposed/actual buildings/structures , Vehicular access; The position of any building or structure on the other side of such boundaries; and Boundary treatments	
3. FEE		
Appropriate fee. For guidance refer to A Guide to the Fees for Planning Applications in England 15 April 2015. Additional information is available on the Planning Portals Guidance "Fees for planning applications".		
4. OTHER REQUIREMENTS		
Sworn affidavit(s) from people with personal knowledge of the use or development	Required where the application is for an existing use or development	

Supporting Statement and other relevant supporting information	To explain and clarify the application with reference to all supporting information	
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NORTH YORKSHIRE PLANNING AUTHORITIES VALIDATION REQUIREMENTS

**RDC7 : APPLICATIONS FOR PRIOR NOTIFICATION OF PROPOSED DEVELOPMENT
BY TELECOMMUNICATIONS CODE SYSTEM OPERATORS**

For any application to be registered as a valid application it must be accompanied by the relevant forms, plans and supporting documents which are necessary to provide sufficient information for the application to be properly considered and determined. These notes and the document "Validation Requirements for Planning and Other Applications Submitted under the Town and Country Planning Acts" which can be obtained from the Authority's web site, are intended to guide you in putting your application together. We can only accept your application as legally valid if all the necessary information is provided to an acceptable standard.

Unless submitted electronically, one original with two copies of the application form, plans and supporting documents must be provided.

Please return this form with your application with all relevant boxes ticked to illustrate the material submitted as part of the application.

		√
1. FORMS		
For applications for Prior Notification of Proposed Development by Telecommunications code system operators the Council encourages the use of the appropriate Standard Application Form however a written description of the proposed development is acceptable in accordance with The Town and Country Planning (General Permitted Development) (England) Order 2015 Schedule 2, part 16		
Completed application form (signed and dated) for the proposed development		
2. PLANS		
Location Plan at a scale of 1:1250 or 1:2500 to show:	The direction of North	
	Wherever possible, at least 2 named roads and surrounding buildings	
	The siting of the apparatus with all dimensions in metres on all plans and drawings	
	Application site edged red/other land owned by the applicant edged blue	
Block Plan at a scale of 1:100, 1:200 or 1:500 to show:	The direction of North	
	Any site boundaries	
	The details of the apparatus, any inspection cabinets	
	The type and height of boundary treatment (if applicable)	
Existing and proposed elevations at a scale of 1:50 or 1:100 to show:	Mode of apparatus, whether stand alone or attached to existing buildings	

3. CERTIFICATES	
Evidence that the developer has given notice of the proposed development in accordance with Class . Schedule 2 (16) The Town and Country Planning (General Permitted Development) (England) Order 2015	
4. FEE	
Appropriate fee. For guidance refer to: A Guide to the Fees for Planning Applications in England 15 April 2015. Additional information is available on the Planning Portals Guidance "Fees for planning applications".	
5. OTHER REQUIREMENTS	
Where the proposed development consists of the installation of a mast within three kilometres of the perimeter of an aerodrome, evidence that the developer has notified the Civil Aviation Authority, the Secretary of State for Defence or the Aerodrome operator in accordance with A.3(2) of Part 24 of Schedule 2 to the General Permitted Development Order 1995	
A signed declaration that the equipment and installation has been designed to be in full compliance with the requirements of the radio frequency (RF) public exposure guidelines of the International Commission on Non-Ionizing Radiation Protection (ICNIRP)	
Supplementary Information Template (as set out in Annex F of the Code of Best Practice on Mobile Phone Network Development) and details of the proposal as outlined in paragraphs 70-82 of the Code of Best Practice	
Acoustic report where relevant	
Any other relevant additional information	



NORTH YORKSHIRE PLANNING AUTHORITIES VALIDATION REQUIREMENTS

RDC8: APPLICATIONS FOR PRIOR NOTIFICATION OF AGRICULTURAL OR FORESTRY DEVELOPMENT

(including proposed buildings, roads, excavation/deposit of waste material from the farm and fish tanks)

For any application to be registered as a valid application it must be accompanied by the relevant forms, plans and supporting documents which are necessary to provide sufficient information for the application to be properly considered and determined. These notes and the document "Validation Requirements for Planning and Other Applications Submitted under the Town and Country Planning Acts" which can be obtained from the Authority's web site, are intended to guide you in putting your application together. We can only accept your application as legally valid if all the necessary information is provided to an acceptable standard.

Unless submitted electronically, one original with one copies of the application form, plans and supporting documents must be provided.

Please return this form with your application with all relevant boxes ticked to illustrate the material submitted as part of the application.

		√
1. FORMS		
For applications for Prior Notification of Agricultural or Forestry Development the Council encourages the use of the appropriate Standard Application Form however a written description of the proposed development and of the materials to be used is acceptable in accordance with Part 6, Schedule 2, The Town and Country Planning (General Permitted Development) (England) Order 2015.		
Completed application form (signed and dated) or written description of the proposed development and materials to be used.		
Please note that Qu.5 "What is the area of the proposed agricultural unit" requires the area of the entire agricultural holding in hectares as opposed to the footprint of the new development only, or the field in which it is situated.		
The 'parcel of land' refers to the uninterrupted contiguous area of the holding around the proposal, without breaks in land ownership or other features such as roads.		
2. PLANS with all dimensions in metres on all plans and drawings		
Location Plan at a scale of 1:1250 or 1:2500 to show:	The direction of North	
	The proposed building/unit	
	Application site edged red/other land owned by the applicant edged blue	
	Wherever possible, at least 2 named roads and surrounding buildings	
3. FEE		
Appropriate fee. A Guide to the Fees for Planning Applications in England 15 April 2015. Additional information is available on the Planning Portal's Guidance "Fees for planning applications".		

4. OTHER REQUIREMENTS		
Existing and Proposed Elevations at a scale of 1:50 or 1:100	Where the application is for prior notification of a proposed building that is stand alone and not part of an existing group of farm buildings	
Existing and proposed floor plans to a scale of 1:50 or 1:100	Where the application is for prior notification of a proposed building that is stand alone and not part of an existing group of farm buildings	
Planning Statement of need and functional requirements for new buildings or roads with reference to landscape impact		
Planning Statement of need and functional requirements for excavation/deposit of waste materials with reference to landscape impact		



NORTH YORKSHIRE PLANNING AUTHORITIES VALIDATION REQUIREMENTS

**RDC9 : APPLICATION FOR TREE WORKS:
WORKS TO TREES SUBJECT OF A TREE PRESERVATION ORDER (TPO)
OR
NOTIFICATION OF PROPOSED WORKS TO TREES IN A CONSERVATION AREA**

For any application to be registered as a valid application it must be accompanied by the relevant forms, plans and supporting documents which are necessary to provide sufficient information for the application to be properly considered and determined. These notes and the document "Validation Requirements for Planning and Other Applications Submitted under the Town and Country Planning Acts" which can be obtained from the Authority's web site, are intended to guide you in putting your application together. We can only accept your application as legally valid if all the necessary information is provided to an acceptable standard.

Unless submitted electronically, one original with two copies of the application form, plans and supporting documents must be provided.

Please return this form with your application with all relevant boxes ticked to illustrate the material submitted as part of the application.

		√
1. FORMS		
Completed application form (signed and dated)		
2. PLANS		
Location Plan at a scale of 1:1250 or 1:2500 to show:	The direction of North	
	Position of the trees clearly marked in red, and identified by a reference and details of the species. If the trees are subject to a TPO and have their own reference this should be used.	
	Wherever possible, at least 2 named roads and surrounding buildings	
3. OTHER REQUIREMENTS		
All applications	A full and clear specification of the works to be carried out including photographs to each tree	
Applications for works to trees protected by a Tree Preservation Order	Statement of reasons for the proposed work	
	Evidence in support of statement of reasons. In particular, you should provide: <ul style="list-style-type: none"> • a report by a tree professional (e.g. arboriculturist or horticultural adviser) if your reasons relate to the health and/or safety of the tree(s); and, • a report by an engineer or surveyor, together with one from a tree professional (arboriculturist) if you are alleging subsidence damage 	
	Proposals for any replanting with details of position, species, sizes of trees and maintenance programme	



NORTH YORKSHIRE PLANNING AUTHORITIES VALIDATION REQUIREMENTS

RDC10 : APPLICATION FOR APPROVAL OF DETAILS RESERVED BY CONDITION

For any application to be registered as a valid application it must be accompanied by the relevant forms, plans and supporting documents which are necessary to provide sufficient information for the application to be properly considered and determined. These notes and the document "Validation Requirements for Planning and Other Applications Submitted under the Town and Country Planning Acts" which can be obtained from the Authority's web site, are intended to guide you in putting your application together. We can only accept your application as legally valid if all the necessary information is provided to an acceptable standard.

Unless submitted electronically, one original with one copy of the application form, plans and supporting documents must be provided.

Please return this form with your application with all relevant boxes ticked to illustrate the material submitted as part of the application.

		√
1. FORMS		
Completed application form (signed and dated).		
Please note that if all conditions to be formally discharged are not dealt with on the initial application then further applications to discharge remaining conditions will be required with appropriate fees.		
When submitting additional information it should be clear which condition each individual piece of information refers to. This could be undertaken in a covering letter.		
2. PLANS with all dimensions in metres on all plans and drawings		
Location Plan at a scale of 1:1250 or 1:2500 to show:	The direction of North	
	Application site edged red/other land owned by the applicant edged blue	
	Wherever possible, at least 2 named roads and surrounding buildings	
Plans and drawings as necessary to deal with the matters reserved by conditions of the permission. All detailed drawings should include a scale bar where appropriate.		
3. OTHER INFORMATION		
Such particulars as are necessary to deal with the matters reserved by conditions of the permission. With conditions which require the assessment of materials, these materials should be available to view on site, as per the specification of the condition (such as a sample panel) which shows both the stone/brick the coursing and the pointing .		
4. FEE		
Appropriate fee. For guidance refer to A Guide to the Fees for Planning Applications in England 15 April 2015. Additional information is available on the Planning Portals Guidance "Fees for planning applications".		



NORTH YORKSHIRE PLANNING AUTHORITIES VALIDATION REQUIREMENTS

**RDC11 : APPLICATION FOR REMOVAL OR VARIATION OF A CONDITION
FOLLOWING THE GRANT OF PLANNING PERMISSION (SECTION 73 OF THE TOWN
AND COUNTRY PLANNING ACT 1990)**

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Unless submitted electronically, one original with two copies of the application form, plans and supporting documents must be provided.

Please return this form with your application with all relevant boxes ticked to illustrate the material submitted as part of the application.

		√
1. FORMS		
Completed application form (signed and dated)		
2. PLANS with all dimensions in metres on all plans and drawings		
Location Plan at a scale of 1:1250 or 1:2500 to show:	The direction of North	
	Application site edged red/other land owned by the applicant edged blue	
	Wherever possible, at least 2 named roads and surrounding buildings	
Plans and drawings necessary to deal with the matters reserved by conditions of the permission. All detailed drawings should include a scale bar where appropriate.		
3. CERTIFICATES		
Ownership Certificate Completed (Agricultural Holdings Certificate Completed)	Correct certificate – A, B, C or D as required	
4. FEE		
Appropriate fee. For guidance refer to A Guide to the Fees for Planning Applications in England 15 April 2015. Additional information is available on the Planning Portals Guidance "Fees for planning applications".		
5. OTHER REQUIREMENTS		
Statement supporting the proposal with reference to the relevant condition(s); reasons for the condition(s) having been imposed; and any proposed replacement condition(s).		
In terms of any conditions relating to biodiversity, evidence from Natural England (in terms of licensing) will be required.		



NORTH YORKSHIRE PLANNING AUTHORITIES VALIDATION REQUIREMENTS

RDC12: APPLICATION FOR HEDGEROW REMOVAL NOTICE

For any application to be registered as a valid application it must be accompanied by the relevant forms, plans and supporting documents which are necessary to provide sufficient information for the application to be properly considered and determined. These notes and the document "Validation Requirements for Planning and Other Applications Submitted under the Town and Country Planning Acts" which can be obtained from the Authority's web site, are intended to guide you in putting your application together. We can only accept your application as legally valid if all the necessary information is provided to an acceptable standard.

Unless submitted electronically, one original with two copies of the application form, plans and supporting documents must be provided.

Please return this form with your application with all relevant boxes ticked to illustrate the material submitted as part of the application.

		√
1. FORMS		
A completed form or the form set out in Schedule 4 to the Hedgerow Regulations 1997 (signed and dated)		
2. PLANS		
Location Plan	The plan should clearly show the location and length of the hedgerow(s) to be removed. If possible, please provide a plan to a scale of 1:2500. A different scale can be used so long as it shows clearly the location and length of the hedgerow or hedgerows that you wish to remove. The Map should also provide sufficient means to identify the location of the hedgerow, including at least one named road, and other features to allow the hedgerow to be precisely located and identified.	
3. OTHER REQUIREMENTS		
Evidence of the date that the hedgerow was planted		
An arboricultural assessment (where trees are to be removed)		
A biodiversity survey and report		
Planning Statement addressing the significance of the hedgerow including evidence from the County Records Office; and the County Archaeological Service about the particular hedgerow(s).		



NORTH YORKSHIRE PLANNING AUTHORITIES VALIDATION REQUIREMENTS

RDC13: APPLICATION TO MODIFY OR DISCHARGE A SECTION 106 PLANNING OBLIGATION (SECTION 106A OF THE TOWN AND COUNTRY PLANNING ACT 1990)

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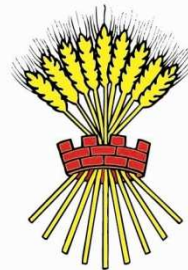
Unless submitted electronically, one original with two copies of the application form, plans and supporting documents must be provided.

Please return this form with your application with all relevant boxes ticked to illustrate the material submitted as part of the application.

		√
1. FORMS		
Completed application form (signed and dated)		
2. PLANS		
Location Plan at a scale of 1:1250 or 1:2500 to show:	The direction of North	
	Application site edged red/other land owned by the applicant edged blue	
	Wherever possible, at least 2 named roads and surrounding buildings	
3. CERTIFICATES		
Ownership (with Agricultural Holdings) Certificate Completed	Correct certificate – A, B, C or D as required	
4. OTHER REQUIREMENTS		
Statement supporting the proposal with reference to the relevant Section 106 Agreement or Unilateral Undertaking explaining the planning reasons why the original Planning Obligation(s) should be discharged or varied. Where it is proposed to vary an Obligation the proposed revised text should be provided, preferably in the form of draft Section 106 Agreement/Unilateral Undertaking.		

LOCAL INFORMATION REQUIREMENTS FOR PLANNING AND OTHER APPLICATIONS SUBMITTED UNDER THE TOWN AND COUNTRY PLANNING ACTS

**RYEDALE
DISTRICT
COUNCIL**



This document has been prepared in partnership, on behalf of North Yorkshire Planning Authorities, and is applicable to all applications submitted to those Authorities. It has subsequently been selectively reviewed by Ryedale District Council.

May 2017

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1. Introduction

- 1.1 In 2008 an amendment to the Town and Country Planning (General Development Procedure) Order 1995 introduced a mandatory standard national application form and associated information requirements for the validation of planning applications and other applications submitted under the Town and Country Planning Acts. The standard '1APP' form is now available online via the [Planning Portal](#). In March 2010 and June 2013 the government issued revised guidance and regulations on information requirements and validation. Therefore the current version of this document has been published to take account of these requirements, as well as other changes in national and local planning policy as applicable to North Yorkshire.
- 1.2 The purpose of the validation arrangements is to :
- provide a guide to the information that may be required at the outset;
 - enable the Local Planning Authority to provide applicants with certainty as to the information required;
 - enable the Local Planning Authority to have all the necessary information to determine the application and to draft the planning permission and all conditions;
 - minimise the need for further submission of additional information in order to allow Local Planning Authorities a reasonable opportunity to determine applications within the time periods established by Government; and,
 - ensure consistency in the approach taken by different Local Planning Authorities in registering and validating applications, whilst recognising the need for variation appropriate to local circumstances.
- 1.3 With this in mind, a group of the North Yorkshire Planning Authorities has sought through this document to set down a consistent and proportionate approach to the information that is required for all different types of applications. This will be kept under review every three years to ensure that it is meeting the above objectives in practice. In setting out these requirements, we are seeking to continue to minimise the number of applications (previously around 30%) which have had to be returned as invalid due to insufficient information or being wrongly completed.
- 1.4 This revised document takes full account of the Department of Communities and Local Government document '[Guidance on Information Requirements and Validation](#)'. In drawing up these lists the key principles set out in the DCLG document have been carefully considered. In summary, these principles are:
- Necessity
 - Precision
 - Proportionality
 - Fitness for Purpose
 - Assistance
- 1.5 Section 2 of this document explains the approach to the submission and validation of applications. Section 3 provides a list of requirements for each of the main types

of application made under the Town and Country Planning Acts. Where “combination” applications are made, then reference should be made to both of the individual requirements. Section 4 provides explanatory guidance to the terms used. If you are familiar with the process of submitting applications you should only need to refer to the relevant checklist for the application which you are making. The checklist will provide the bulk of the information that you need in order to submit a valid application, but more detailed information of the terms used as well as a general overview of the application process is provided in the following pages of this document if required. There is also a separate Appendix providing detailed guidance on the specialist area of Biodiversity and Geological Assessments. We hope that you find these documents useful.

- 1.6 Although not specifically covered by these requirements, applications can also now be made for extensions to the time limits for implementing permissions; non-material amendments to existing permissions; and minor material amendments to existing permissions. Detailed information about the specific requirements for making such applications together with general guidance and background information can be found in the Communities and Local Government publication [*Greater Flexibility for Planning Permissions*](#).
- 1.7 In the event of an unresolved disagreement between an applicant and the Local Planning Authority regarding the nature or extent of information required to validate any application, Section 6 of the Growth and Infrastructure Act along with the Town and Country Planning (Development Management Procedure (England) (Amendment) Order 2013, provide a formal route for an applicant to challenge the position taken by the Local Authority and appeal against non-determination after the statutory time limit has passed and no formal validation has taken place seeking to demonstrate that the information requested does not meet the tests set out in the [National Planning Policy Framework](#) and the Act.

2. Protocol for Submission and Validation of Applications

Pre-Application Enquiries

- 2.1 The Local Planning Authority welcomes the opportunity for pre-application discussions with a Planning Officer prior to the formal submission of an application to:
- (a) confirm the scope of the information in the application;
 - (b) address whether the proposal may need to be amended to comply with the Council's policies in the Development Plan and other Officer advice; and,
 - (c) to seek a view on whether planning permission is likely to be granted.

This advice is given without prejudice to the final recommendation on the proposal, which will be made in the light of consultation responses and detailed consideration of the application. Ryedale District Council do make a charge for this service, and the forms are available on the website. The Council strives to respond to these inquiries in within 28 days, depending upon staffing and other resources; it is not possible for them to be prioritised over planning applications.

- 2.2 It is recognised that for reasons of urgency some applications may be submitted without the benefit of pre-application advice. The Council will vet applications on receipt and inform the agent/applicant if the plans and supporting information is sufficient to register the application. It will be necessary to submit all required documents with the application as set out in the Council's published validation criteria for the application to be formally accepted and registered.
- 2.3 It may be necessary in relation to some supporting information to carry out pre-submission consultation with technical consultees, for example, the Environment Agency, Yorkshire Water, Natural England, North Yorkshire County Council or Historic England as appropriate, prior to the formal registration of the application. It is expected that such consultation will automatically be part of the pre-application process for all major¹ applications and that applicants for other application types will carry out such consultation where particular technical issues are identified at the pre-application stage.
- 2.4 For some particularly complex cases, the Council will set up a "Development Team" to involve some of the above Services and Agencies in dealing with the application. For larger scale strategic schemes the applicant may decide to enter into a Planning Performance Agreement (PPA) with the Council. In such circumstances, the contents of this document remain valid although the precise form and content of applications would be subject to more bespoke requirements to be agreed as part of the PPA with the Council.

¹ "Major" developments comprise proposals for ten or more dwellings; an outline application for residential development on a site of more than 0.5 hectare; new building(s) of more than 1,000 sq. m. floorspace; or development on a site of more than 1 hectare.

- 2.5 On larger schemes, particularly where design is critical, the applicant will also be encouraged to submit the proposals for consideration by a Design Review Panel at the pre-application stage. Depending on the importance of the scheme, this may occur at a national, regional or local level. Applicants are encouraged to discuss this at an early stage with the Council to establish the most appropriate arrangements.
- 2.6 All applicants, but particularly those bringing forward major development schemes, are encouraged to carry out pre-application public consultation with appropriate sections of the public (e.g. neighbours directly affected, Parish/Town Council or specific interest groups) in accordance with the Council's published "Statement of Community Involvement". When considering whether or not to engage in pre-application consultation, applicants should be aware that seemingly minor proposals can sometimes be significant, or even controversial, for local people. Therefore, it is often advisable to take a precautionary approach and to engage with those that may be affected whenever possible.

Validation of Applications

- 2.7 The Council will not register or validate an application if it is incomplete: if all essential information listed in the appropriate validation criteria is not provided in a complete form. We will, however, always seek to take a proportionate view on seeking information, and will only require further details where this is genuinely necessary for the application to be properly considered, this may be at validation, or in the determination of the proposed development.
- 2.8 Under the provisions of Regulation 4 of the Town and Country Planning (Applications) Regulations the Council also has power in the course of dealing with an application to require an applicant to :
- (a) supply any further information, and accept outline applications, plans and drawings necessary to enable them to determine the application; or
 - (b) provide one of their officers with any evidence in respect of the application as is reasonable for them to call for to verify any particulars of information given to them.
- 2.9 If an application is subsequently found to be invalid following registration, the time period for determination will be suspended until such time as it becomes valid and the period for determination of the application reset. However, where information is found to be insufficient the Council is more likely to follow the course of action set out in paragraphs 2.10 - 2.14 below.

Processing the Application

- 2.10 The opportunity to make significant changes to an application, after validation, is severely limited. Significant changes, i.e. revised plans which require re-consultation, may not be accepted, because the re-consultation may not be able to be carried out and a decision made inside the 8 or 13 week target. Applicants may, however, be able to make changes to plans to address issues raised by

Officers and consultees, if time permits during the process of consideration. In every case the submission of revised details must be accompanied by a schedule clearly setting out the proposed changes.

- 2.11 Fresh drawings or modifications that significantly alter the nature or description of the proposal will not normally be accepted after validation. If such a change is unavoidable, the Council will ask for a fresh application.
- 2.12 Where an application has been validated but needs significant alteration to make it acceptable, or where pre-application advice to overcome problems has not been followed, the Council will consider the application as submitted and this may result in a recommendation of refusal. The applicant may, however, withdraw the application and submit a new application for a revised scheme before a decision is made. There is normally no fee for the first such resubmission.
- 2.13 Prior to a recommendation of refusal being made on an application, the agent/applicant will be informed and given the opportunity to withdraw the application if it is clear that there would be no other acceptable outcome. These applications can normally be resubmitted in revised form, with no fee.
- 2.14 Where a major application has been validated but then needs significant alteration to make it acceptable, and the applicant/agent has taken steps to provide such information, but the scheme will go beyond the expected timescale for determination, the Local Planning Authority would require that an extension of time is agreed in writing. Otherwise the scheme may be recommended for refusal.

Legal Agreements

- 2.15 These are legal undertakings under Section 106 of the Town & Country Planning Act 1990 and either take the form of a Planning Agreement between the applicant, the Council and possibly other parties, or alternatively a Unilateral Undertaking made by the applicant alone. Along with payments required under the Community Infrastructure Levy, they are normally used to secure infrastructural improvements which are required in connection with the development, such as on-site open space and the provision of affordable housing (or contributions). Whenever possible, conditions will be used in preference to planning obligations, but there are circumstances (such as where commuted payments) where they are unavoidable. Where possible, applicants are requested to use Unilateral Undertakings rather than entering into Section 106 Planning Agreements to meet planning obligations associated with development proposals.
- 2.16 Unilateral Undertakings and Planning Agreements should be substantially drafted during the preparation of the application or, where possible, should be included as part of the formal submission of the application. As a minimum, draft Heads of Terms outlining the key contents of a proposed Planning Obligation, where one is deemed likely to be necessary should be submitted with the application.
- 2.17 Where Undertakings or Agreements are not completed in time to allow approval of a development within the target timescale of 8 or 13 weeks and the delay lies with

the applicant, planning permission may be refused on the grounds of failure to meet a necessary obligation which is essential for the granting of planning permission.

Summary

The key elements of the Protocol for submission and validation of applications are :

- Compile a full application before formal submission.
- Promote consultation with the Local Planning Authority and key consultees before formal submission.
- “Front load” the application process by taking into account the views of other parties who will be involved in commenting on and considering the application.
- Significant alterations to applications cannot be made after registration/validation.
- The Council will make decisions in most cases within the relevant target of 8 or 13 weeks. Applicants/agents will be advised as soon as practicable if any application is to be recommended for refusal.
- Extensions of time, must be agreed in writing.
- Advance preparation of documents for Unilateral Undertakings or Planning Agreements will assist a prompt and favourable outcome.

3. Information Requirements for Applications by Main Application Type

3.1 The relevant validation requirements for each type of application are set out in tabular form as a series of individual proformas for each type of proposal. These reflect any particular local requirements for the particular authority concerned and cover the following types of proposal :

- RDC 1: Householder Application for Planning Permission**
- RDC 2: Application for Outline or Full Planning Permission**
- RDC 3: Application for Approval of Reserved Matters**
- RDC 4: Application for Listed Building Consent**
- RDC 5: Application for Advertisement Consent**
- RDC 6: Application for Lawful Development Certificate**
- RDC 7: Application for Prior Notification of Proposed Development
by Telecommunications Code System Operators**
- RDC 8: Application for Prior Notification of Agricultural or Forestry
Development (including proposed buildings, roads,
excavation/deposit of waste material from the farm and fish
tanks)**
- RDC 9: Application for Tree Works : Works to Trees Subject of a
Tree Preservation Order (TPO) or Notification of Proposed
Works to Trees in a Conservation Area**
- RDC 10: Application for Approval of Details Reserved by Condition**
- RDC 11: Application for Removal or Variation of a Condition
Following the Grant of Planning Permission (Section 73 of
the Town and Country Planning Act 1990)**
- RDC 12: Application for Hedgerow Removal Notice**
- RDC 13: Application to Modify or Discharge a Section 106 Planning
Obligation (Section 106A of the Town and Country Planning
Act 1990)**

Please refer to Section 4 below for more detailed explanatory guidance of the terms used.

4. Explanatory Guidance of Terms

Standard Application Form

Since April 2008, all applications have had to be presented on the standard “[1APP](#)” application form, which is available electronically. We would encourage you to submit your application electronically wherever possible, as this provides opportunities for improved efficiency and reduced costs. However you still have the option of submitting a paper based application if you wish, in which case one original and three additional copies of the completed standard application form should be submitted. In some circumstances you may be requested to submit more than four sets of documents copies, but four is the statutory requirement for a valid application.

Location Plan

All applications must include copies of a location plan based on an up-to-date map. This should be at a scale of 1:1250 or 1:2500 and normally on A4 or A3- sized paper. In exceptional circumstances plans of other scales may also be required. Plans should wherever possible show at least two named roads and surrounding buildings. The properties shown should be numbered or named to ensure that the exact location of the application site is clear.

The application site should be edged clearly with a red line. It should include all land necessary to carry out the proposed development – for example, land required for access to the site from a public highway, visibility splays, landscaping, car parking and open areas around buildings.

A blue line should be drawn around any other land owned by the applicant, close to or adjoining the application site.

Site/Block Plan

The site/block plan should be drawn at a scale of 1:100, 1:200 or 1:500.

All such plans should accurately show :

- a) The direction of North.
- b) The proposed development, in relation to the site boundaries and other existing buildings on the site, with written dimensions including those to the boundaries

and the following, unless there are no such features:

- c) All the buildings, roads and footpaths on land adjoining the site including access arrangements.
- d) All Public Rights of Way crossing or adjoining the site.
- e) The position of all trees on the site, and those on adjacent land that could influence or be affected by the development.
- f) The extent and type of any hard surfacing.

- g) Boundary treatment including the type and height of walls or fencing where this is proposed.
- h) The position of any river, pond or other water/coastal feature on or adjacent to the site.

Existing and Proposed Elevations

These should be drawn to a scale of 1:50 or 1:100 and show clearly the proposed works in relation to what is already there. In exceptional circumstances, such as for very large buildings (i.e. agricultural buildings) 1:200 scale may be acceptable. All sides of the proposal must be shown and these should indicate, where possible, the proposed building materials and the style, materials and finish of windows and doors. Blank elevations must also be included; if only to show that this is in fact the case. Existing and proposed plans must be drawn at the same scale.

Where a proposed elevation adjoins another building or is in close proximity, the drawings should clearly show the relationship between the buildings, and detail the positions of the openings on each property. It will not be necessary for an applicant to provide detailed information on elevations of existing buildings on the site if these will not be altered by the development proposal.

Existing and Proposed Floor Plans

These should be drawn to a scale of 1:50 or 1:100 and should explain the proposal in detail. In exceptional circumstances, such as for very large buildings (i.e. agricultural buildings) 1:200 scale may be acceptable. Where existing buildings or walls are to be demolished these should be clearly shown. The drawings submitted should show details of the existing building(s) as well as those for the proposed development. New buildings should also be shown in context with adjacent buildings (including property numbers where applicable).

Existing and Proposed Site Sections, Finished Floor and Site Levels

These should be drawn at a scale of 1:50 or 1:100 and should show a cross section(s) through the proposed building(s). In all cases where a proposal involves a change in ground levels, illustrative drawings should be submitted to show both existing and finished levels to include details of foundations and eaves and how encroachment onto adjoining land is to be avoided.

Full information should also be submitted to demonstrate how proposed buildings relate to existing site levels and neighbouring development. Such plans should show existing site levels and finished floor levels (with levels related to a fixed datum point off site) and also show the proposals in relation to adjoining buildings. This will be required for all applications involving new buildings.

In the case of extensions to existing buildings, the levels may be evident from floor plans and elevations, but particularly in the case of sloping sites it will be necessary to show how proposals relate to existing ground levels or where ground levels outside the extension would be modified. Levels should also be taken into account in the formulation of Design and Access Statements.

Roof Plan

This should be drawn at a scale of 1:50 or 1:100 and is used to show the shape of the roof. In exceptional circumstances, such as for very large buildings (i.e. agricultural buildings) 1:200 scale may be acceptable. It is typically drawn at a scale smaller than the scale used for the floor plans. Details such as the roofing material, and position of vents and any openings (roof windows), are typically specified on the roof plan.

Details of fenestration and other features

For Listed Building Consent, and some planning permissions, details of replacement windows, including the materials, details of glazing bars and frame (in cross section), means of opening, and depth of the reveal should be provided at an appropriate scale (1:10/1:20). This can also include doors, rainwater goods

Ownership Certificate and Notice

Under section 65(5) of the Town and Country Planning Act 1990, read in conjunction with Article 14 of The Town and Country Planning (Development Management Procedure) (England) Order 2015 the Local Planning Authority must not entertain an application for planning permission unless the relevant Certificates concerning the ownership of the application site have been completed. All applications for planning permission except for approval of reserved matters must include the appropriate certificate of ownership. An ownership certificate A, B, C or D must be completed stating the ownership of the property. For this purpose an 'owner' is anyone with a freehold interest, or leasehold interest the unexpired term of which is not less than 7 years.

Where an applicant is not the (or sole) owner of the land, a notice to any other owner(s) of the application site must be completed and served in accordance with Article 6 of the GDPO.

Agricultural Land Declaration

This is a certificate which is required whether or not the site includes an agricultural holding. All agricultural tenants must be notified prior to the submission of the application. It is now incorporated into the Ownership Certificate, but is not required if the applicant is making an application for reserved matters, extension to the time limit for implementing an existing planning permission, discharge or variation of conditions, works to protected trees, Listed Building Consent, a lawful development certificate, prior notification of proposed agricultural or forestry development, a non-material amendment to an existing planning permission, or consent to display an advertisement.

Design and Access Statement

A Design and Access Statement must accompany an application for planning permission (either outline or full planning permission) which is for:

- A major² development; or,
- Where any part of the development is in a designated area³, development consisting of :
 - The provision of one or more dwelling houses; or,
 - The provision of a building or buildings where the floor space created by the development is 100 square metres or more.

Design and Access Statements are not required for any application for planning permission which is :

- Made under Section 73 of the 1990 Act for permission to develop land without compliance with conditions previously attached.
- For engineering or mining operations.
- For a material change in use of land or buildings.
- For development which is waste development.

A Design and Access Statement is a short report accompanying and supporting a planning application that should seek to explain and justify the proposal in a structured non-technical way which can easily be understood by local communities. The level of detail required in a Design and Access Statement will depend on the scale and complexity of the application and be proportionate to the type of development proposed, but need not be long. The Design and Access Statement should :

- a) explain the design principles and concepts that have been applied to the development;
- b) demonstrate the steps taken to appraise the context of the development and how the design of the development takes that context into account;
- c) explain the policy adopted as to access, and how policies relating to access in relevant local development documents have been taken into account;
- d) state what, if any, consultation has been undertaken on issues relating to access to the development and what account has been taken of the outcome of any such consultation; and,
- e) explain how any specific issues which might affect access to the development have been addressed.

² "Major" developments comprise proposals for ten or more dwellings; an outline application for residential development on a site of 0.5 hectare or more; new building(s) of 1,000 sq. m. or greater floorspace; or development on a site of 1 hectare or more.

³ A "designated area" is either a designated Conservation Area or a World Heritage Site.

Crime prevention is also an aspect to consider in relevant circumstances and it will be at the discretion of the Local Planning authority to determine whether the absence of any reference to this will invalidate a particular design and access statement at the outset. In any event, such information may be relevant to the consideration of the application, and applicants are strongly encouraged to show how measures to prevent crime and disorder have been incorporated. Further information can be found on the Police's [Secured by Design](#) website.

Where a Design and Access Statement is required as part of a Listed Building Consent (with or without planning permission) the content will need to address the following:

- a) the special architectural or historic interests of the building(s) and how this is to be preserved or enhanced;
- b) the particular physical features of the building and justify its designation as a Listed Building.
- c) the building's(s)' setting; and
- d) where appropriate, how the proposed approach to access has balanced the duties imposed by the Disability Discrimination Act and the particular historical/architectural significance of the building.

Affordable Housing Statement

Where Local Plan Strategy policy requires the provision of affordable housing the Local Planning Authority may require information concerning both the affordable housing and any market housing e.g. the numbers of residential units, the mix of units with numbers of habitable rooms and/or bedrooms, or the floor space of habitable areas of residential units, plans showing the location of units and their number of habitable rooms and/or bedrooms, and/or the floor space of the units. If different levels or types of affordability or tenure are proposed for different units this should be clearly and fully explained. The affordable housing statement should also include details of any Registered Social Landlords acting as partners in the development.

In the event that the applicant is seeking to make an exception to the established policies of the Local Plan Strategy, this will need to be fully justified. Where this is based on a financial case a Viability Assessment shall be carried out by a suitably qualified valuer. Establishing the appropriate level of affordable housing having regard to both financial viability constraints and the expectations of the Council's policies can be a complex and time consuming process which cannot be accommodated within the normal timescale of a planning application. The applicant should therefore seek to agree the scope and methodology of the Viability Assessment with the Council and complete any discussions, as well as the finalised document, prior to the submission of the planning application.

Attached at the end of this document is the affordable housing proposal form.

Air Quality Assessment

Where the development is proposed inside, or adjacent to an Air Quality Management Area (AQMA), or where the development could in itself result in the designation of an AQMA or where the grant of planning permission would conflict with, or render unworkable, elements of the Local Authority's Air Quality Action Plan, applications should be supported by such information as is necessary to allow a full consideration of the impact of the proposal on the air quality of the area. This would be expected to be through an Air Quality Assessment.

Biodiversity Survey and Report

Where a proposed development may have possible impacts on wildlife and biodiversity, information must be provided on existing biodiversity interests and possible impacts on them to allow full consideration of those impacts prior to determination of the application. Where proposals are being made for mitigation and/or compensation measures information to support those proposals will be needed. Where appropriate, accompanying plans should indicate any significant wildlife habitats or features and the location of habitats of any species protected under the Wildlife and Countryside Act 1981, the Conservation of Habitats and Species Regulations 2010 or the Protection of Badgers Act 1992. Applications for development in the countryside that will affect areas designated for their biodiversity interests are likely to need to include assessments of impacts and proposals for long term maintenance and management. This information might form part of an Environmental Statement, where one is necessary. Certain proposals which include work such as the demolition of older buildings or roof spaces, removal of mature trees, woodland, scrub, hedgerows or alterations to water courses and ponds may affect protected species and will need to provide information on them, any potential impacts for them and any mitigation proposals for such impacts. This list is by no means conclusive, and specialist guidance should be sought, particularly around the timing of such studies, to reflect the relative vulnerability of species at different times in the year. For example, whilst scoping surveys (checking for signs and potential) for bats can be carried out during the winter months, many proposals will require a bat activity survey which can only be properly undertaken between May and August. Applicants should be aware that this can cause delays submission of the application and consequently in the implementation of any development granted permission.

Government planning policies for biodiversity are set out in the [**National Planning Policy Framework**](#) (March 2012), Further information can be found in Government Circular: [**Biodiversity and Geological Conservation – Statutory Obligations and their Impact Within the Planning System**](#) (ODPM Circular 06/2005, Defra Circular 01/2005) and [**Planning for Biodiversity and Geological Conservation: A Guide to Good Practice**](#). Material produced by other organisations may also provide a useful reference resource including:

<http://www.ywt.org.uk/planning>

<http://www.wildlifetrusts.org/planning>

www.gov.uk/guidance/protected-species-how-to-review-planning-applications

Community Infrastructure Levy Implications

Certain types of development are liable for the Ryedale District Council Community Infrastructure Levy Charge. Where development is for residential development (which can include extensions), for supermarket development, or for retail warehouses, in the first instance the 'Planning Application Additional Information Requirement Form' must be completed for Full applications, some Outline applications (where floorspace can be calculated) and Reserved Matters.

Economic Statement

Applications may need to be accompanied by a supporting statement of any regeneration benefits from the proposed development, including: details of any new jobs that might be created or supported; the relative floorspace totals for each proposed use (where known); any community benefits; and reference to any regeneration strategies that might lie behind or be supported by the proposal. In many cases the Economic Statement may be incorporated within other submitted documents, such as the Planning Statement or Environmental Statement.

Environmental Statement

The Town and Country Planning (Environmental Impact Assessment) Regulations (1999), as amended, set out the circumstances in which an Environmental Impact Assessment (EIA) is required. Undertaking an EIA may obviate the need for other more specific assessments.

Where EIA is required, Schedule 4 to the Regulations sets out the information that should be included in an Environmental Statement. The information in the Environmental Statement has to be taken into consideration when the Local Planning Authority decides whether to grant planning consent. It may be helpful for a developer to request a 'screening opinion' (i.e. to determine whether EIA is required) from the Local Planning Authority before submitting a planning application. Where EIA is necessary, a 'scoping letter' shall also be sent to the Local Planning Authority in accordance with the 1999 Regulations in order to agree the methodology and broad content of the Environmental Statement. In cases where a full EIA is not required, the Local Planning Authority may still require environmental information to be provided for specific issues.

Flood Risk Assessment

A Flood Risk Assessment (FRA) will be required for development proposals in flood zone 2 or 3 including minor development and change of use and all proposals in flood zone 1 or more than 1 hectare(ha). An FRA will also be required for any development less than 1 ha in flood zone 1, including a change of use in development type to a more vulnerable class, where they could be affected by non-fluvial flooding. In areas within flood zone 1 which are designated as a critical drainage area which has been notified to the Local Planning Authority by the Environment Agency, an FRA will also be required. Please see the Environment Agency's website for further details on FRA's.

Where appropriate, the following guidance within table 3 of the national Planning Practice Guidance, evidence for the sequential and exception tests will need to be submitted either as part of the flood risk assessment or as a standalone report. The FRA should also demonstrate that a sequential approach to flood risk has been taken within the development site, so that the most vulnerable parts of the development are carried out in the areas of lowest flood risk.

The FRA should identify and assess the risks of all forms of flooding to and from the development and demonstrate how these flood risks will be managed, taking the latest available climate change allowances into account. The FRA should identify opportunities to reduce the probability and consequences of flooding. The FRA should include the design of surface water management systems including Sustainable Drainage Systems (SUD's) and address the requirements for safe access to and from the development in areas at risk of flooding.

The FRA should be prepared by an applicant in consultation with the Local Planning Authority with reference to their published local development documents and any Strategic Flood Risk Assessment. The FRA should form part of an Environmental Statement when one is required by the Town and Country Planning (Environmental Impact Assessment) (England and Wales) Regulations 1999 as amended. The [National Planning Practice Guidance](#) provides more detailed guidance in relation to the undertaking of flood risk assessments and the responsibilities for controlling development where it may be directly affected by flooding or affect flooding elsewhere.

Foul Sewerage and Utilities Assessment

All new buildings need separate connections to foul and storm water sewers. If an application proposes to connect a development to the existing drainage system then details of the existing system should be shown on the application drawing(s). It should be noted that in most circumstances surface water is not permitted to be connected to the public foul sewers.

Where the development involves the disposal of trade waste or the disposal of foul sewage effluent other than to the public sewer, then a fuller foul drainage assessment will be required including details of the method of storage, treatment and disposal. A foul drainage assessment should include a full assessment of the site, its location and suitability for storing, transporting and treating sewage. Where connection to the mains sewer is not practical, then the foul/non-mains drainage assessment will be required to demonstrate why the development cannot connect to the public mains sewer system and show that the alternative means of disposal are satisfactory. Guidance on what should be included in a non-mains drainage assessment is given in [National Planning Practice Guidance](#).

If the proposed development results in any changes/replacement to the existing system or the creation of a new system, scale plans of the new foul drainage arrangements will also need to be provided. This will include a location plan, cross sections/elevations and specification. Drainage details that will achieve Building Regulations Approval will be required. If connection to any of the above requires

crossing land that is not in the applicant's ownership, other than on a public highway, then notice may need to be served on the owners of that land.

An application should indicate how the development connects to existing utility infrastructure systems. Most new development requires connection to existing utility services, including electricity and gas supplies, telecommunications and water supply, and also needs connection to foul and surface water drainage and disposal. Two planning issues arise; firstly, whether the existing services and infrastructure have sufficient capacity to accommodate the supply/service demands which would arise from the completed development, and secondly, whether the provision of services on site would give rise to any environmental impacts, for example, excavations in the vicinity of trees or archaeological remains.

The applicant should demonstrate :

- (a) that, following consultation with the service provider, the availability of utility services has been examined and that the proposals would not result in undue stress on the delivery of those services to the wider community;
- (b) that proposals incorporate any utility company requirements for substations, telecommunications equipment or similar structures;
- (c) that service routes have been planned to avoid as far as possible the potential for damage to trees and archaeological remains; and,
- (d) where the development impinges on existing infrastructure the provisions for relocating or protecting that infrastructure have been agreed with the service provider.

Geotechnical Survey/Stability Report/Coal Mining Risk Assessment

This is likely to be the required where the development would affect or be affected by unstable land. This includes sites subject to effects of underground cavities, unstable slopes, ground compression and the legacy of past coal mining activity.

Other specific information regarding Coal Mining Risk Assessments can be found on the web site of the [Coal Authority](#). This explains how their "risk-based" approach works and provides information regarding coal mining referral areas, as well as guidance and templates for preparing Risk Assessments.

Heritage Statement (including Historical, Archaeological Features and Scheduled Monuments)

All applications which are likely to affect a designated heritage asset (i.e. a Listed Building, a Conservation Area, a Registered Historic Park and Garden, a Scheduled Monument, a Registered Battlefield, or a World Heritage Site) or which might impact upon the setting of one of these assets will, in appropriate circumstances, be required to submit a Heritage Statement.

A Heritage Statement should contain :

- A description of those elements which contribute to the significance of any heritage assets likely to be affected by the proposals.
- An assessment of the contribution which the setting makes to that significance.
- An assessment of the likely impact which the proposals will have upon those elements which contribute to the significance of those assets.
- photographs and a structural survey by an appropriately qualified and independent surveyor (if required)
- reference to the requirements of para 128 of the National Planning Policy Framework
- an analysis of the character and appearance of a Conservation Area is included in applications within Conservation Area in order for the applicant to demonstrate that the development will preserve or enhance the character or appearance of the area

In certain circumstances, Heritage Statements may also be required for applications affecting other non-designated heritage assets such as non-scheduled archaeological sites and locally-important historic buildings. The scope and degree of detail necessary in a Heritage Statement will vary according to the particular circumstances of each application. Applicants are advised to discuss proposals with either a Planning Officer or a Conservation Officer before any application is made. The following is a guide to the sort of information that may be required for different types of application.

For applications for Listed Building Consent, a written statement that includes a schedule of works to the Listed Building(s), an analysis of the significance of archaeology, history and character of the building/structure, the principles of and justification for the proposed works and their impact on the special character of the Listed Building or structure, its setting and the setting of adjacent Listed Buildings may be required. A structural survey may be required in support of an application for Listed Building Consent. If a structural survey is to be produced for a Listed Building it should be provided by an appropriately qualified and independent surveyor

Where an application site either includes or is likely to include archaeological remains, the Heritage Statement will be expected to include an appropriate desk-based assessment of the impact which the proposals might have upon these remains. In certain circumstances, where desk-based assessment is insufficient to properly assess the likely impact, a field evaluation may be required instead. A small number of such areas within North Yorkshire are defined as Areas of Archaeological Significance in local policies. Where an application is likely to affect any archaeological remains, applicants should first consult the Heritage Section of the County Council.

Further advice on Heritage Assets is provided in the [National Planning Policy Framework](#) (March 2012).

Hydrogeological Risk Assessment (HRA)

Applications would be required to be accompanied by a Hydrogeological Risk Assessment (HRA) when it has been identified that the development proposal is within a Ground Source Protection Zone. These are identified by the Environment Agency, and respects areas of particular ground water sensitivity to contamination.

A HRA is the formal process for identifying the potential groundwater hazards associated with each stage or phase of the proposed development and evaluating the likelihood and consequences of each hazard. The framework for groundwater risk includes:

- Developing a conceptual model for the site. Depending on the sensitivity of the site (and the nature of the proposal), intrusive site investigation, and a period of groundwater monitoring is likely to be required to characterise the site hydrogeology in sufficient detail and to provide sufficient information to inform the risk assessment; and
- Identifying sources of pollution, potential pathways for the movement of pollutant and receptors (for example, groundwater abstractions, groundwater dependant ecosystems);
- A tiered approach. A qualitative risk assessment should be undertaken initially, progressing to a more detailed, numeric assessments where the risks are greater;
- Consideration of uncertainties in the assessment; and
- An appraisal of options for dealing with the identified risks.

The HRA should assess the risks associated with construction of the development, together with risks associated with the proposed surface water and foul drainage schemes.

Further detailed information and guidance about HRAs can be found in the Environment Agency's publication: [Groundwater Protection: Principles and Practice \(GP3\)](#)

Land Contamination Assessment

Applications may also need to be accompanied by a Land Contamination Assessment which should include an extended assessment of contamination. Further advice on undertaking a land contamination assessment can be found in the Yorkshire and Humber Pollution Advisory Council booklets, '[Development on Land Affected by Contamination](#)' (March 2010) and '[Verification Requirements for Cover Systems to Remediate Contaminated Land](#)'. The latter document is not currently available electronically from YAHPAC but can be obtained from the Council's Environmental Health section. Sufficient information should be provided in the submitted Assessment to determine the existence or otherwise of contamination,

its nature and the risks that it may pose and whether these can be satisfactorily reduced to an acceptable level. Even in situations where there might appear to be a lower risk of contamination but where the proposed use would be particularly vulnerable (e.g. conversions of buildings to domestic use; replacement dwellings; development or use of land previously in agricultural or commercial use; and use of land for recreational purposes) it will be necessary to assess the risk. It is helpful for the consultation process between Planning and Environmental Health if a Preliminary Assessment of Land Contamination form can be completed. These are available from the Local Authority. It is important to bear in mind that the responsibility lies with an applicant to provide such information with the application as is necessary to determine whether the proposed development can proceed.

Landscaping Details

Other than minor applications and outline applications, applications should be accompanied with a landscaping plan with soft and hard landscaping details. These should follow from the design concept from the scheme in the Design and Access Statement. Existing trees and other vegetation should, where practicable, be retained in new developments and protected during the construction of the development.

Soft landscaping details include, for example: proposed contours, levels and areas of topsoiling; grassed areas with seed mix/type; areas of open space; new planting plan and schedule (including genus, species, size and girth of trees and shrubs, species and size of plants; planting locations; new and incorporated water features and management details); details of existing trees, shrubs and hedgerows to be retained together with details of protective fencing. Hard landscaping details include the location, alignment and materials of roads, drives, car parks, steps and ramps ; details of service infrastructure; boundary treatment; street furniture; play equipment and long term maintenance and management arrangements.

Landscape and Visual Impact Assessment (LVIA)

A LVIA is a technical assessment of the visual effects of proposed new development and the effects it will have on the character of landscape itself. An LVIA will be required for all applications where an Environmental Impact Assessment is required and for major schemes which are likely to have a significant visual impact within the landscape or result in significant land use change. A LVIA should ideally be undertaken by a qualified landscape architect using an appropriate and recognised methodology. Guidance on the production of LVIA's is provided by the Landscape Institute: [Guidance on Landscape and Visual Impact Assessment](#) (GLIVA3)

Lighting Assessment

Proposals involving the provision of publicly accessible developments, in the vicinity of residential property, a Listed Building or a Conservation Area, or open countryside, where external lighting would be provided or made necessary by the development, should be required to be accompanied by details of the proposed external lighting and the hours when the lighting would be switched on. These details should include a layout plan with beam orientation and a schedule of the equipment in the design. Submission of an 'isolux' or similar drawings showing the luminance at specified heights above ground level may also be requested for

particularly sensitive proposals or sites, such as sports floodlighting in rural or residential areas. Guidance on consideration the impacts of lighting on the character/amenity of the area are set out in the [National Planning Practice Guidance](#).

Noise Assessment

Application proposals that raise issues of disturbance by noise to the occupants of nearby existing buildings, and for developments that are considered to be noise sensitive and which are close to existing sources of noise should be supported by a noise impact assessment prepared by a suitably qualified acoustician. Such assessments should be undertaken early in the process to inform the design/layout. Further policy guidance is provided in the [National Planning Policy Framework](#) (March 2012).

Open Space Assessment

For development within open spaces, application proposals should be accompanied by plans showing any areas of existing or proposed open space within or adjoining the application site. Planning permission is not normally given for development of existing open spaces which local communities need. However, in the absence of a robust and up-to-date assessment by the Local Authority, an applicant for planning permission may seek to demonstrate through an independent assessment that the land or buildings are surplus to local requirements. Any such evidence should accompany the planning application. National planning policy is set out in the [National Planning Policy Framework](#) (March 2012). Where Sport England are involved as a consultee on developments affecting existing sports facilities, they will need information which helps them to assess the effects of the proposal. The type and level of detail required can be found on the Sport England [website](#).

Parking Provision

Applications may be required to provide details of existing and proposed parking provision. These details could also be shown on a site layout plan. Where appropriate, provision should be made for parking spaces for the disabled and visitors. Where parking provision is above or below the standards recommended by the Local Highway Authority (or where there are no standards), the level of provision may need to be justified, taking account of the particularly circumstances relating to the proposed development and site.

http://www.northyorks.gov.uk/media/33806/Interim-guidance-on-transport-issues-including-parking-standards/pdf/Interim_guidance_on_transport_issues_including_parking_standards.pdf

Photographs and Photomontages

These provide useful background information and can help to show how large developments can be satisfactorily integrated within the street scene. Photographs should be provided if the proposal involves the demolition of an existing building or development affecting a Conservation Area or a Listed Building. They may form part of the Design and Access Statement or the Heritage Statement. Where photomontages are included in a Landscape and Visual Impact Assessment details of the photographs (such as grid references, distance from site, and width of lens

such be provided in accordance with [Guidance on Landscape and Visual Impact Assessment](#) (GLIVA3)

Planning Obligations – Draft Heads of Terms

Planning Obligations (or “Section 106 Agreements”) are private agreements negotiated between Local Planning Authorities and persons with an interest in a piece of land (or “developers”), and are intended to make acceptable development which would otherwise be unacceptable in planning terms.

Whilst they form a vital part of the Development Management framework, they can cause considerable delay to the approval of a planning application. Where they are required it is strongly recommended that a draft Section 106 Agreement or Unilateral Undertaking is submitted with the planning application. If this not possible, a minimum requirement for validation will be the submission of a statement of the proposed draft Heads of Terms, summarising the key obligations within a proposed Agreement or Undertaking.

The Local Plan Strategy sets out where site-specific developer contributions would be required. Further guidance on planning obligations is available at [National Planning Practice Guidance](#).

Planning and Sustainability Statement

A Planning Statement identifies the context and need for a proposed development and includes an assessment of how the proposed development accords with relevant national and local planning policies. This is particularly important where a proposal does not accord with adopted policies. It may also include details of consultations with the Local Planning Authority and wider community/statutory consultees undertaken prior to submission. Alternatively, a separate Statement of Community Involvement may also be appropriate.

Sustainability should be addressed within the statement, including sustainable design and construction of buildings together with provision for on-site renewable energy generation. Applications for “major” developments should be accompanied by an Energy Statement which sets out the predicted energy consumption of the development along with any planned low or zero carbon energy sources. As part of the sustainability statement, Proposed new development can be supported by Site Waste Management Plans. These do not require formal approval by the planning authority, but are intended to encourage the identification of the volume and type of material to be demolished and/or excavated, opportunities for the reuse and recovery of materials and to demonstrate how off-site disposal of waste will be minimised and managed.

Statement of Community Involvement

Applications, particularly for Major applications, may need to be supported by a statement setting out how the applicant has complied with the requirements for pre-application consultation set out in the Council’s adopted Statement of Community Involvement and demonstrating that the views of the local community have been sought and taken into account in the formulation of development proposals.

Structural Survey

A structural survey will be required in support of an application if the proposal involves substantial demolition/conversion, for example, barn conversion applications or development which may affect the structural stability of buildings/structures identified as Heritage Assets (i.e. Listed Buildings or other heritage assets in Conservation Areas).

Summaries of Planning Applications

The principal aim of a summary is to introduce the scheme to parties who are not familiar with the details of the proposed development. Where the supporting information for a major application exceeds 100 pages (excluding the application form itself), applicants should submit a summary of the whole scheme. This summary should be no more than 20 pages long and should provide an overview of the proposal and a clear description of its key impacts. If a development proposal is already subject to Environmental Impact Assessment (EIA), the non-technical summary of the resulting Environmental Statement is likely to provide most of the necessary information. Applicants should simply summarise any other key topics that are outside the scope of EIA. To avoid unnecessary duplication the summary may form part of the Design & Access Statement or Planning Statement, but to assist with validation procedures it should be clearly identified within the document.

Telecommunications Development – Supplementary Information

Certain forms of telecommunication development, for example, mobile telephone masts of a specific height, are known as ‘permitted development’ and subject to prior approval from the local planning authority.

The prior approval procedure means that the principle of development is not an issue. The LPA can only consider the siting and appearance of the proposal. The local planning authority has 56 days in which to let the mast operators know of its decision on whether prior approval is required for siting and appearance and to let the operator know of its decision to allow or refuse approval.

There is no power to extend the 56 day period. The prior approval procedure applies to the construction, installation, alteration or replacement of:

- a ground based mast of up to and including 15 metres in height;
- a mast of up to and including 15 metres in height installed on a building or structure;
- an antennae (including any supporting structure) which exceeds the height of the building or structure (other than a mast) by 4 metres or more at the point of where it is installed or to be installed;
- a public call box;
- radio equipment housing with a volume of 2.5 cubic metres;
- development ancillary to radio equipment housing (for example, fences or access roads).

Planning applications and applications for prior notification by telecommunications code operators for masts and antenna development should be accompanied by a range of supplementary information including the area of search, details of any consultation undertaken, details of the proposed structure, and technical justification and information about the proposed development.

Applications shall also be accompanied by a signed declaration that the equipment and installation has been designed to be in full compliance with the requirements of the radio-frequency (RF) public exposure guidelines of the International Commission on Non-Ionizing Radiation Protection (ICNIRP). Further guidance on the information that may be required is set out in the [Code of Best Practice on Mobile Network Development Published 2013](#). This is an industry-led code of best practice, endorsed by DCLG.

Town Centre Uses – Evidence to Accompany Applications

The [National Planning Policy Framework](#) (March 2012), provides policy guidance seeking to ensure the vitality of town centres. The Local Plan Strategy sets out when impact tests are required:

Any application for more than 500 sq. m. of comparison retail only schemes, 750 sq. m of convenience only schemes, or where the scheme is a combination of convenience or comparison, the threshold is set at 1000 sq. m of the total retail gross floor space, which is development outside of a defined town centre and not in accordance with the Local Plan Strategy should be accompanied by an impact assessment to examine:

- The impact of the proposal on existing, committed and planned public and private investment in a centre or centres in the catchment area of the proposal; and,
- The impact of the proposal on town centre vitality and viability, including local consumer choice and trade in the town centre(s) and wider area, up to at least 5 years from the time the application is made.

Transport Assessment

The [National Planning Policy Framework](#) (March 2012) advises that a Transport Statement or Transport Assessment should be submitted as part of any planning application where the proposed development would generate significant amounts of movement. The coverage and detail of the Statement or Assessment should reflect the scale of the development and the extent of the transport implications of the proposal. For smaller schemes a Statement should simply outline the transport aspects of the application, while for major proposals, an Assessment should illustrate accessibility to the site by all modes of transport, and the likely modal split of journeys to and from the site. It should also give details of proposed measures to improve access by public transport, walking and cycling, to reduce the need for parking associated with the proposal, and to mitigate transport impacts.

Transport Assessments will be sent to the relevant consultee for the type of road infrastructure that the development would be utilising - Highways England for the Strategic Road Network and North Yorkshire County Council for the Local Highway Network.

Advice on the preparation of Transport Assessments is available in the **[national Planning Practice Guidance](#)**

<https://www.gov.uk/guidance/travel-plans-transport-assessments-and-statements>

and at:

http://www.northyorks.gov.uk/media/33806/Interim-guidance-on-transport-issues-including-parking-standards/pdf/Interim_guidance_on_transport_issues_including_parking_standards.pdf

Travel Plan

All developments which generate significant amount of movement will be required to provide a Travel Plan.

Further advice is available in **[National Planning Practice Guidance](#)**.

Tree Survey/Arboricultural Implications

Where there are trees within the application site, or on land adjacent to it that could influence or be affected by the development (including street trees), information will be required on which trees are to be retained and on the means of protecting these trees during construction works. This information should be prepared by a suitably qualified and experienced arboriculturist.

Full guidance on the survey information, protection plan and method statement that should be provided with an application is set out in the current BS5837 (2012) 'Trees in Relation to Construction – Recommendations'. Using the methodology set out in the BS should help to ensure that development is suitably integrated with trees and that potential conflicts are avoided.

Ventilation/Extraction Statement

Details of the position and design of ventilation and extraction equipment, including odour abatement techniques and acoustic noise characteristics, will be required to accompany all applications for the use of premises for purposes within Use Classes A3 (i.e. restaurants and cafes - use for the sale of food and drink for consumption on the premises), A4 (i.e. drinking establishments – use as a public house, wine-bar or other drinking establishment) and A5 (i.e. hot food takeaways - use for the sale of hot food for consumption off the premises). This information (excluding odour abatement techniques unless specifically required) will also be required for significant retail, business, industrial or leisure or other similar developments where substantial ventilation or extraction equipment is proposed to be installed.



Affordable Housing Proposal Form

Applicants must complete Sections A to F. If you have any queries, please email lesley.fargher@ryedale.gov.uk or telephone 01653 600666 ex.251

SECTION A	SITE LOCATION
Site location or address: (attach location plan)	

SECTION B	CONTACT DETAILS
Applicant/Agent's name:	
Address:	
Postcode:	
Telephone number:	
Email address:	

SECTION C	SUMMARY OF PROPOSED DEVELOPMENT						
Total number of homes in the overall scheme:							
Type and quantity (insert numbers below):							
Apartment 1 bed		Apartment 2 bed		Apartment 3 bed		Apartment 4+ bed	

Bungalow 1 bed		Bungalow 2 bed		Bungalow 3 bed		Bungalow 4 + bed	
House 1 bed		House 2 bed		House 3 bed		House 4+ bed	

SECTION D		SUMMARY OF AFFORDABLE HOUSING			
Total number of affordable homes:		Percentage of total scheme:		Percentage for commuted sum:	
No. of Social Rent/Affordable Rent (if known)			No. of Intermediate tenure - Discount Sale (if known)		
Apartment 1 bed			Apartment 1 bed		
Apartment 2 bed			Apartment 2 bed		
House 1 bed			House 1 bed		
House 2 bed			House 2 bed		
House 3 bed			House 3 bed		
House 4+ bed			House 4+ bed		
Bungalow 1 bed			Bungalow 1 bed		
Bungalow 2 bed			Bungalow 2 bed		

SECTION E		SUMMARY OF TERMS AGREED WITH THE REGISTERED PROVIDER			
Name of Registered Provider and contact details:					
Address of Registered Provider:					
Please tick the appropriate box to confirm the following:					
Heads of Terms of S106 agreed		YES		NO	
SECTION F		DEVELOPMENT CHECKLIST AND CONFIRMATION			
Please tick the boxes to confirm you are supplying the following information to enable your application to be validated:					
	A location plan outlining the site in red is enclosed				
	An appropriately coloured up block plan (colours indicated above), clearly identifying affordable units by tenure, size and type is enclosed				
	Sections A to F of this form are completed and signed below				
	The size and transfer prices of the affordable units accord with the schedule below				
Unit Type*:	Size Sqm (minimum) GIFA	Social Rent/Affordable Rent (Transfer Value)	Intermediate Tenure - Discount Sale (Sale Value)		
Apartment 1 bed 2 Person	50	£45,000	£52,065		
Apartment 2 bed 3 Person	61	£54,900	£68,233		
Apartment 2 bed 4 Person	70	£63,000	£68,233		
House 1 bed 2 Person	58	£52,200	£83,183		

House 2 bed 4 Person	79	£71,100	£93,551
House 3 bed 5 Person (2 storey)	93	£83,700	£95,422
House 3 bed 5 Person (3 storey)	99	£89,100	£95,422
House 4+ bed 7 Person (2 storey)	115	£103,500	£111,271
House 4+ bed 7 Person (3 storey)	121	£108,900	£111,271
Bungalow 1 bed 2 Person	50	£45,000	£78,750
Bungalow 2 bed 3 Person	61	£54,900	£111,271
Bungalow 2 bed 4 Person	70	£63,000	£111,271

* Unit type and sizes based on Nationally Described Space Standards – Technical Requirements March 2015

Signature (Applicant/Agent):		Date:	
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Please return to: lesley.fargher@ryedale.gov.uk or post to: Lesley Fargher, Housing Development Officer, Housing Services, Ryedale District Council, Ryedale House, Malton, North Yorkshire, YO17 7HH

Affordable Housing: Affordable housing is social rented, affordable rented and intermediate housing, provided to eligible households whose needs are not met by the market. Eligibility is determined with regard to local incomes and local house prices.

Affordable housing should include provisions to remain at an affordable price for future eligible households or for the subsidy to be recycled for alternative affordable housing provision.

Ryedale District Council expects an affordable housing split on all schemes of 45% social rent, 45% affordable rent and 10% intermediate tenure (Discount Sale) unless otherwise agreed with Housing Services. A commuted sum will be required for any point percentage of a dwelling.

Social Rent	Social rented housing is owned by local authorities and registered providers (as defined in the Section 80 of the Housing and Regeneration Act 2008), for which guideline target rents are determined through the national rent regime. It may also be owned by others and provided under equivalent rental arrangements to the above, as agreed with the local authority or with the Homes and Communities Agency.
Affordable Rent	Affordable rented housing is let by local authorities or registered providers of social housing to households who are eligible for social rented housing, but who cannot afford to rent on the open market. Affordable rent is subject to rent controls that require a rent of no more than 80% of the local market rent (including service charges, where applicable).
Intermediate Housing	Intermediate housing is homes for rent or sale and could include Discount for Sale and Shared Ownership housing. Homes that do not meet the above definition of affordable housing, such as “low cost market” housing, may not be considered as affordable housing for planning purposes.

Appendix 2

Summary of consultation responses

Consultee	Comment(s)	RDC Response
Sheriff Hutton Parish Council	No comment	N/A
Highways England	Transport Assessment Section: addition to differentiate the necessity to consult/ regard for the type of road infrastructure which the development could be utilising ie SRN/ Local Highways Network	<p>Noted - Amend validation requirements document to include:</p> <p>"Transport Assessments will be sent to the relevant consultee for the type of road infrastructure that the development would be utilising - Highways England for the Strategic Road Network and North Yorkshire County Council for the Local Highway Network.</p> <p>Advice on the preparation of Transport Assessments is available in the <u>national Planning Practice Guidance</u></p> <p>https://www.gov.uk/guidance/travel-plans-transport-assessments-and-statements"</p>
Yorkshire Wildlife Trust	Supports the information on Page 17 on Biodiversity Survey and Report. Suggest the inclusion of additional links to information to assist non-technical applicants and further information to give sufficient detail as to how applicants should decide as to whether the application will have biodiversity impacts.	<p>Noted - Amend the relevant section to include links to further information as follows:</p> <p>http://www.ywt.org.uk/planning</p> <p>http://www.wildlifetrusts.org/planning</p>

	<p>(Conversion of agricultural buildings to dwellings under Permitted Development) - Include further links to the legal position and information on what protected species might be found using barns.</p>	<p>www.gov.uk/guidance/protected-species-how-to-review-planning-applications</p> <p>Noted - Amend the GPAGB checklist to include: This could include for example, Barn Owls, Bats and Breeding Birds. Further information can be found at:</p> <p>https://www.gov.uk/guidance/protected-species-how-to-review-planning-applications</p>
<p>Environment Agency</p>	<p>Flood Risk Assessment (Page 18-19). Recommend changes to the wording of 2 paragraphs in this section to ensure that it captures all details of the Flood Risk Assessment (FRA) and the requirements.</p> <p>Paragraph 1 to read:</p> <p><i>A Flood Risk Assessment (FRA) will be required for development proposals in flood zone 2 or 3 including minor development and change of use and all proposals in flood zone 1 or more than 1 hectare(ha). An FRA will also be required for any development less than 1 ha in flood zone 1, including a change of use in development type to a more vulnerable class, where they could be affected by non-fluvial flooding. In areas within flood zone 1 which are designated as a critical drainage area which has been notified to the Local Planning Authority by the Environment Agency, an FRA will also be required. Please see the Environment Agency's website for further details on FRA's.</i></p>	<p>Noted. Amend as suggested.</p>

	<p><i>Where appropriate, the following guidance within table 3 of the national Planning Practice Guidance, evidence for the sequential and exception tests will need to be submitted either as part of the flood risk assessment or as a standalone report. The FRA should also demonstrate that a sequential approach to flood risk has been taken within the development site, so that the most vulnerable parts of the development are carried out in the areas of lowest flood risk.</i></p> <p>Paragraph 2: Include 'taking the latest available climate change allowances into account', at the end of the first sentence</p> <p>RDC Application Checklist for outline or full planning permission:- Amend text in relation to the sequential test to read:</p> <p>You may need to carry out a sequential test as part of your FRA if both of the following points apply:</p> <ul style="list-style-type: none"> • The development is within flood zone 2 or 3 • A sequential test hasn't already been applied on the proposed site for a development of the same type. <p>If the sequential test shows that it isn't possible to use an alternative site, the exception test should be carried out for developments that are:</p> <ul style="list-style-type: none"> • In flood zone 2 and are classed as highly vulnerable • More vulnerable in flood zone 3a or are essential infrastructure developments in flood zone 3a or 3b <p>For more information and guidance on the sequential and exception tests please see the Environment Agency</p>	<p>Noted - Amend as suggested.</p> <p>Noted - Amend as suggested.</p>
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	website.	
Howardian Hills AONB	Existing and proposed elevation drawings must use comparable scales, styles and perspectives to enable direct comparisons between the two. 3D diagrams are useful to convey the feel of the proposals but they should not be a substitute for good elevation drawings.	Noted . It is considered onerous to expect the drawings to be of a comparable style. Amend to request that proposed and elevational plans should be drawn to the same scale.
Natural England	No capacity to comment on the consultation at the current time	N/A
Historic England	<p>Page 20 Heritage Statement. Recommend that:</p> <ul style="list-style-type: none"> • The list of items that the heritage statement should contain should include photographs and a structural survey by an appropriately qualified and independent surveyor (if required) • Include reference to the requirements of para 128 of the NPPF • Reference is included to ensure that an analysis of the character and appearance of a Conservation Area is included in applications within Conservation Area in order for the applicant to demonstrate that the development will preserve or enhance the character or appearance of the area. <p>Page 24: A requirement for a structural survey could be expanded to include non-designated heritage assets.</p> <p>Recommend that if a structural survey is to be produced for a Listed Building it should be provided by an appropriately qualified and independent surveyor.</p>	<p>Noted - Amend as suggested</p> <p>Noted, however this is considered to be an overly onerous requirement.</p> <p>Noted - Amend the text to clarify.</p>

<p>Fitzwilliam Malton Estate</p>	<p>The introduction of a validation checklist is welcomed as it can reduce uncertainty and help to avoid delay. However it can also lead to unnecessary requirements of applicants which should be avoided. Therefore we have the following comments to make:</p> <p>Pre-application Enquiries: The Council acknowledge that it cannot commit to a response to pre-application enquiries within 28 days, despite charging for the service. This is not reflected in paragraphs 2.10-2.14 relating to the processing of applications. It would be more reasonable to acknowledge that where timescales have not allowed for a pre-application enquiry, changes to an application can be made post submission subject to an agreement to extend the application determination period. This would avoid unnecessary delays, costs and abortive work (on both the applicants and Council's sides) associated with the withdrawal and re-submission of an application.</p> <p>Validation of Applications: Concerns regarding the potential for the determination period to be suspended and/or applications to be refused as a result of additional assessment being required which was not identified during validation. Whilst this approach may be reasonable where the requirement is clear at the start of the application process, there are a number of examples in the proposed validation checklist where a</p>	<p>The Local Planning Authority would urge all applicants but particularly those of larger schemes to make a pre-application enquiry to establish information requirements amongst other things. The fact that the LPA may not always be in a position to respond within 28 days should help to ensure that the pre-application process is factored in by applicants at an early stage and well in advance of the submission of an application. The context for the text referred to is in relation to local information requirements to be provided in order to validate/register an application (and confirmed as part of the pre-app process) as opposed to changes to applications post submission/validation.</p> <p>The validation checklist is consistent with those used across North Yorkshire and beyond. It is considered that the information requirements are not ambiguous. Information requirements are proportionate to the type and scale of the development proposed. It is also not</p>
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	<p>specific requirement is ambiguous. (Air Quality; Economic Statements; Landscaping details - see below; Photographs and Photomontages; Transport Assessments.</p> <p>In these instances a more reasonable approach would be to request that the relevant information is provided within agreed timescales post submission and only suspend the application determination period or refuse it in the event that the additional information is not provided.</p> <p>Legal Agreements: Question why the Council have requested that applicants use unilateral undertakings rather than Section 106 , wherever possible. This places the legal cost burden onto the applicant and raises questions about how projects funded through the agreement are secured.</p> <p>Landscape Details: The requirements are unclear and appear to confuse landscaping details with Landscape and Visual Impact Assessments (LVIA's).</p>	<p>unreasonable to expect applicants to be aware of the context for development and of the impact/potential impact that their proposed development may have and thus an awareness of the information requirements which they may need to support their own proposals.</p> <p>Clearly there may be situations which, over the course of an application may demand the production of further information and extension to determination periods can be agreed if appropriate.</p> <p>This is a suggestion not a requirement and is aimed at assisting the developers/applicants of smaller sites where contributions are sought. A template is made available to help reduce legal costs. Small developers have previously taken advantage of this option/approach to make affordable housing and open space contributions.</p> <p>Noted. Amend to clarify the role of both and the requirements of each.</p>
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APPLICATIONS TO BE DETERMINED BY RYEDALE DISTRICT COUNCIL

PLANNING COMMITTEE - 07/06/17

7

Application No: 17/00288/MREM

Application Site: 56 Low Moorgate Rillington Malton North Yorkshire YO17 8JW

Proposal: Erection of 5 no. four bed detached dwellings, 2 no. three bed detached dwellings and terrace of 1 no. three bed dwelling and 2 no. two bed dwellings with associated garaging and parking/amenity areas (outline approval 13/00652/MOUT dated 17.03.14 refers)

8

Application No: 17/00347/MFUL

Application Site: Rainbow Farm Veterinary Surgery Rainbow Lane Malton North Yorkshire YO17 6SG

Proposal: Erection of a portal steel frame building to form both an infill between existing buildings and provide an insulated water proof shell over an existing building including installation of a first floor together with the extension of an adjacent single storey stable block to improve isolation facilities

9

Application No: 17/00405/MFUL

Application Site: Dotterel Farm Main Road Weaverthorpe Malton YO17 8ET

Proposal: Erection of 2no. agricultural buildings for the housing of 1,960 pigs to include demolition of existing agricultural buildings

10

Application No: 17/00109/FUL

Application Site: Land To The East Of Mowthorpe Lane Terrington

Proposal: Erection of a 15m high telegraph pole style telecommunications mast with associated equipment cabinets and ancillary equipment and erection of an adjacent satellite backhaul dish on a 2.7m high pole all within a 1.2m high stock proof fenced compound together with formation of a 3m wide access track from Mowthorpe Lane and an area for the parking of vehicles

APPLICATIONS TO BE DETERMINED BY RYEDALE DISTRICT COUNCIL

PLANNING COMMITTEE - 07/06/17

11

Application No: 17/00356/FUL

Application Site: Masonic Hall Bridge Street Pickering North Yorkshire YO18 8DT

Proposal: Erection of single storey extension to the north elevation (revised details to refusal 16/01414/FUL dated 15.11.2016)

12

Application No: 17/00357/LBC

Application Site: Masonic Hall Bridge Street Pickering North Yorkshire YO18 8DT

Proposal: Erection of single storey extension to the north elevation to include removal of section of north wall of existing Hall

13

Application No: 17/00507/FUL

Application Site: Rocklands Cawthorne Lane Wrelton Pickering North Yorkshire YO18 8HE

Proposal: Erection of 12no. hot tub gazebos, siting of 2no. metal containers forming a biomass boiler and fuel store, siting of a two bedroom holiday lodge (cabin 10) to replace an existing caravan and siting of an additional two bedroom holiday lodge (cabin 9) - retrospective application

14

Application No: 16/01424/FUL

Application Site: Sledgate Garage Low Moor Lane Rillington Malton North Yorkshire YO17 8JU

Proposal: Change of use of land and buildings to B1 (Business), B2 (General Industry) and B8 (Storage and Distribution) Uses and erection of fuel store, vehicle valet bay, disability toilet and site toilet (part retrospective application)

15

Application No: 16/01640/FUL

Application Site: Hydramotion Ltd 1A - 1B Seven Street Malton North Yorkshire YO17 6YA

Proposal: Erection of a two storey linking extension for office and storage use, replacement of metal cladding on Unit 1 and sections of Unit 3 with a composite panel on the roof and walls to include 10no. rooflights to Unit 1, replacement of existing windows and installation of additional windows to Unit 1

**RYEDALE DISTRICT COUNCIL
PLANNING COMMITTEE**

SCHEDULE OF ITEMS TO BE DETERMINED BY THE COMMITTEE

PLANS WILL BE AVAILABLE FOR INSPECTION 30 MINUTES BEFORE THE MEETING

Item Number: 7
Application No: 17/00288/MREM
Parish: Rillington Parish Council
Appn. Type: Approval of Reserved Matters Major
Applicant: Mulgrave Properties LLP (Mr Iain Godfrey)
Proposal: Erection of 5 no. four bed detached dwellings, 2 no. three bed detached dwellings and terrace of 1 no. three bed dwelling and 2 no. two bed dwellings with associated garaging and parking/amenity areas (outline approval 13/00652/MOUT dated 17.03.14 refers)
Location: 56 Low Moorgate Rillington Malton North Yorkshire YO17 8JW

Registration Date: 13 March 2017
8/13 Wk Expiry Date: 12 June 2017
Overall Expiry Date: 20 April 2017
Case Officer: Alan Hunter **Ext:** Ext 276

CONSULTATIONS:

Tree & Landscape Officer	Requires further information
Parish Council	No views received to date
Highways North Yorkshire	No objections

Neighbour responses: Mr Christopher Coxon, Mr Colin Bean,

SITE:

The application site comprises approximately 0.42 hectares of land within the development limits of Rillington, approximately measuring 52m in width at its widest and 85m in depth. The site is currently used for a combination of grazing land and as part of the garden to 56 Low Moorgate. The site is relatively flat and located to the east of Low Moorgate on the northern side of Rillington. There is a low brick wall along the frontage of the site with existing dwellings located to either side and opposite in a mixture of styles. A ditch runs along the western side of Low Moorgate, known as Rillington Beck. There is open countryside on the eastern boundary, which has recently been granted outline planning permission for residential development.

PROPOSAL:

Reserved Matters is sought for the external appearance and landscaping for the 10 dwellings approved under reference 13/00652/MFUL.

PLANNING COMMITTEE

7 June 2017

HISTORY:

2014: Out line planning permission granted for the erection of 10 dwellings.

2016: Out line planning permission granted for 18 dwellings on the site adjoining the eastern boundary (that site shares the access road with this site)

POLICY:

National Policy Guidance

National Planning Policy Framework 2012

National Planning Policy Guidance 2014

Local Plan Strategy 2013

Policy SP 1 - General Location of Development and Settlement Hierarchy

Policy SP 2 - Delivery and Distribution of New Housing

Policy SP 3 - Affordable Housing

Policy SP 4 - Type and Mix of New Housing

Policy SP 14 - Biodiversity

Policy SP 16 - Design

Policy SP 17 - Managing Air Quality, Land and Water Resource

Policy SP 18 - Energy

Policy SP 19 - Presumption in Favour of Sustainable Development

Policy SP 20 - Generic Development Management Issues

Policy SP 21 - Occupancy Restrictions

Policy SP 22 - Planning Obligations, Developer Contributions and the Community Infrastructure Levy

APPRAISAL

The main considerations in relation to this application are:

- The external appearance of the development; and
- Landscaping

The design and external appearance of the proposed dwellings is broadly considered to be consistent with Policy SP 16 of the Ryedale Plan - Local Plan Strategy. However, the agent has been asked to amend the scheme with the following changes:

- That the footpath alignment in front of Plot 1 be curved;
- Plot 1 not to have an external chimney stack;
- The omission of barge boards on House Types F and G;
- Improvements to the ground floor fenestration to Plot 1; and
- The provision of chimneys to the terraced dwellings.

The agent is considering the above proposed amendments. Members will be updated at the meeting.

Landscaping

The Tree and Landscape Officer has stated that no detailed information has been submitted in respect of the proposed Landscaping. The agent has been requested to submit the proposed landscaping details. Members will be updated at the meeting.

There has been two letters of concern received from local residents. These raise issues of principle, flooding, boundary details, scale, impact on local services and drainage. These matters are not for consideration at this stage, which is only to address External Appearance and Landscaping. The issues raised were previously considered by Planning Committee when the Outline application was approved.

The Highway Authority has no objection to the proposal. They have, however, made comment on the highway drainage and the proximity of Plot 1. Additional information has been submitted in this regard and forwarded to the Highway Authority. No views have been received to date on this.

In view of the above, a recommendation will be made at the meeting following receipt of the amendments and clarification over the landscaping details.

RECOMMENDATION: **Made at the Meeting**

Background Papers:


Adopted Ryedale Local Plan 2002
Local Plan Strategy 2013
National Planning Policy Framework
Responses from consultees and interested parties



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CDM 2015 REGULATIONS APPLY

<table border="1"> <tr> <td>REV</td> <td>DATE</td> <td>AMENDMENT</td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>			REV	DATE	AMENDMENT				<p>01845 524758 info@dparchitects.co.uk www.dparchitects.co.uk</p> <p>CHARTERED ARCHITECTS 50 Market Place, Thirsk North Yorkshire YO7 1LW</p> 	<p>CLIENT: MULGRAVE PROPERTIES</p>	<p>PROJECT: Development at Low Moorgate, Rillington</p> <p>DRAWING TITLE: Location Plan Planning Drawing</p>	<p>DATE VALID 13/03/17</p>	<p>SCALE: 1 : 1250 @ A3</p> <p>DRAWN: JW</p>	<p>DATE: MARCH 2017</p> <p>DWG NO: 3700/PD/10</p> <p>REV: -</p>
REV	DATE	AMENDMENT												

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SITE PLAN TO BE READ IN CONJUNCTION WITH F&A LANDSCAPE MASTERPLAN

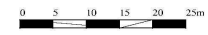
ACCOMMODATION SCHEDULE

REF	DESCRIPTION	AREA	No
A TYPE	3 bed 2 storey terraced house	80m ²	1no
B TYPE	3 bed 2 storey detached house	108m ²	1no
C TYPE	4 bed 2 storey detached house	130m ²	3no
E TYPE	3 bed 2 storey detached house	109m ²	1no
F TYPE	4 bed 2 storey detached house	132m ²	1no
G TYPE	4 bed 2 storey detached house	131m ²	1no
H TYPE	2 bed 2 storey terraced house	63m ²	2no
TOTAL			10no

MATERIALS SCHEDULE

- Facing Brickwork walls with matching coloured heads
- Plots 1, 2 & 10: Crest Kivansite
- Plots 3 - 9: Crest Cavendish Antique
- Roof finishes
- Plots 1, 2, 3 & 10: Crest Plenum tile, colour anthracite grey
- Plots 4 - 9: Crest double panell, colour rustic
- Garages in brick to match corresponding plot
- Wet cast sandstone cills (quoins plot 1 only) - colour Buff
- Gas chimneys (clad in matching brick slips to plot) incl clay pots to plots 1 - 4 & 10
- Pvc windows, colour white. Mix of casement and mock sash (biller to 1,3,4 and 10)
- UPVC doors, white to respect plot to match windows and composite front door in Chartwell Green
- Detached garage doors: Novoterm Thomsby, colour Chartwell Green
- Integral garage doors (plots 6 and 9): Novoterm Bewick sectional with glazing, colour Chartwell Green
- Rainwater goods, black upvc, Breal Martin 112mm Roundstyle
- White painted timber canopy to plots 4 to 7
- Painted timber door surround to plots 1,3 and 10
- Pivote Drives coloured bitmac
- Pivote Pathways: paving flags
- Adapted roadpaths - black bitmac with hard margins in concrete block paving

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 www.dparchitects.co.uk
 CHARTERED ARCHITECTS
 50 Market Place, Thirsk
 North Yorkshire YO7 1LW

CLIENT:
MULGRAVE PROPERTIES

PROJECT:
 Development at Low Moorgate, Rillington

DATE VALID:
 13/03/17

DRAWING TITLE:
 Site Layout Plan: Planning Drawing

SCALE:
 1:500 @ A3

DATE:
 MARCH 2016

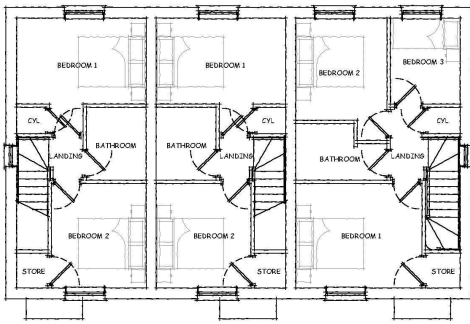
DRAWN:
 JW

CHECKED:
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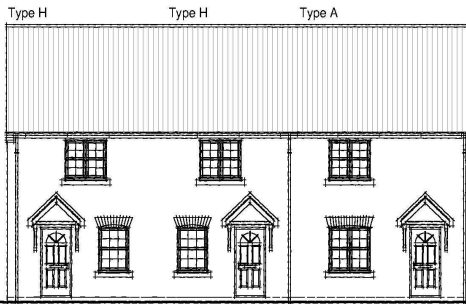
DWG NO:
 3700/PD/11

REV:
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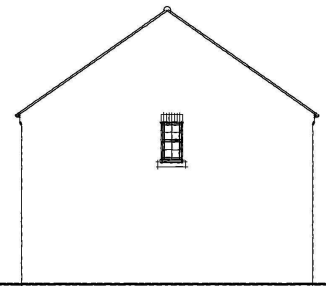
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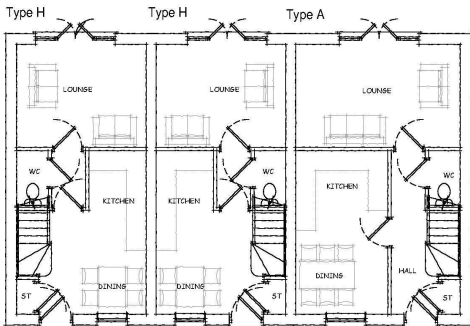
FIRST FLOOR PLAN



FRONT ELEVATION



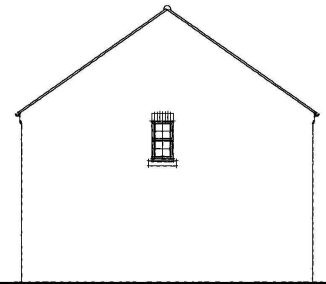
SIDE ELEVATION



GROUND FLOOR PLAN



REAR ELEVATION



SIDE ELEVATION

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CLIENT:
MULGRAVE PROPERTIES

PROJECT:
 Development at Low Moorgate, Rillington

DRAWING TITLE:
 Type A & H Terrace Planning Drawing

DATE VALID
 13/03/17

SCALE:
 1 : 100 @ A3

DATE:
 MARCH 2017

DRAWN:
 JW

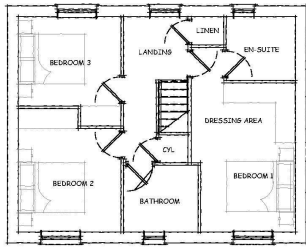
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DRWG NO:
 3751/PD/06

REV:
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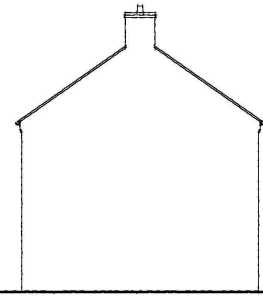
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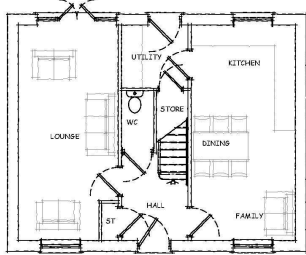
FIRST FLOOR PLAN



FRONT ELEVATION



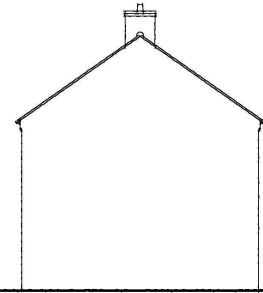
SIDE ELEVATION



GROUND FLOOR PLAN



REAR ELEVATION



SIDE ELEVATION



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CLIENT:
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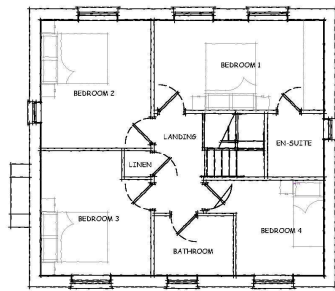
PROJECT:
 Development at Low Moorgate, Rillington

DATE VALID
 13/03/17

DRAWING TITLE:
 Type B Planning Drawing (plot 4)

SCALE:		DATE:	
1 : 100 @ A3		MARCH 2017	
DRAWN:	CHECKED:	DRWG NO:	REV:
JW	-	3751/PD/03	-

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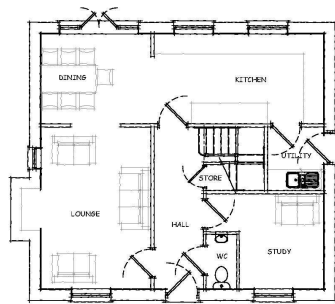
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FRONT ELEVATION



SIDE ELEVATION



GROUND FLOOR PLAN



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 DP Architects
 and
 DP Architects

CLIENT:
MULGRAVE PROPERTIES

PROJECT:
 Development at Low Moorgate, Rillington

DATE VALID
 18/03/17

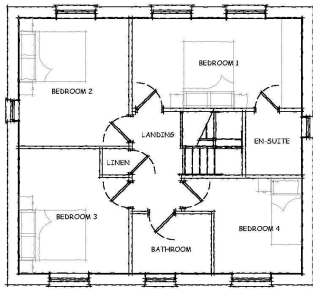
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 Type C Planning Drawing (plot 1)

SCALE:
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DATE:
 MARCH 2017

DRAWN: JW
 CHECKED: -
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 REV: -

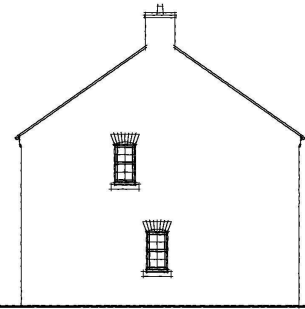
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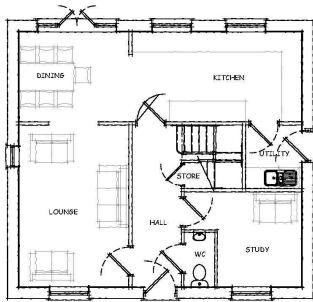
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SIDE ELEVATION



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CLIENT:
MULGRAVE PROPERTIES

PROJECT:
 Development at Low Moorgate, Rillington

DATE VALID
 13/03/17

DRAWING TITLE:
 Type C Planning Drawing (plot 3 as drawn; plot 10 opposite hand)

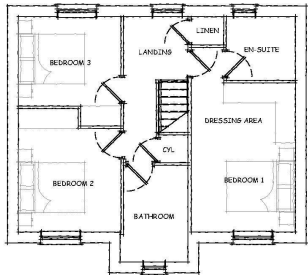
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DATE:
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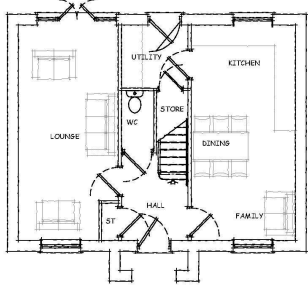
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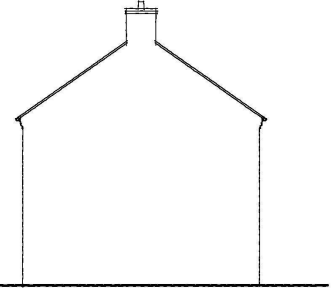
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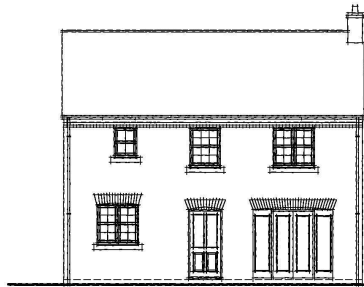
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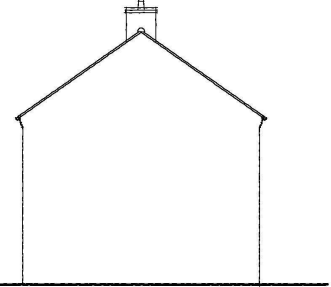
FRONT ELEVATION



SIDE ELEVATION



REAR ELEVATION



SIDE ELEVATION



CDM 2015 REGULATIONS APPLY

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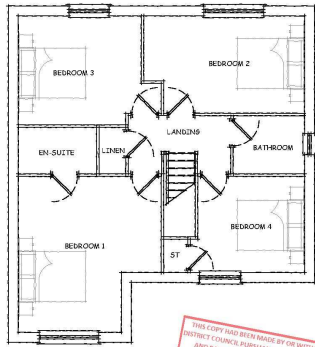
PROJECT:
 Development at Low Moorgate, Rillington

DATE VALID
 13/03/17

DRAWING TITLE:
 Type E Planning Drawing (plot 2)

SCALE: 1 : 100 @ A3	DATE: MARCH 2017
DRAWN: JW	CHECKED: -
DRWG NO: 3751/PD/02	REV: -

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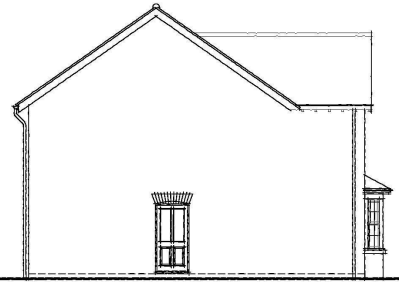


FIRST FLOOR PLAN

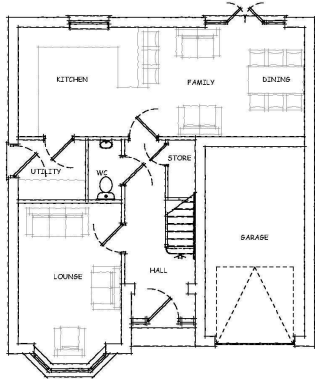
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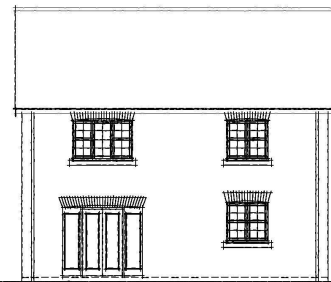
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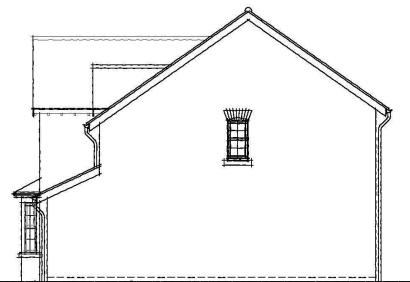
SIDE ELEVATION



GROUND FLOOR PLAN



REAR ELEVATION



SIDE ELEVATION



CDM 2015 REGULATIONS APPLY

REV	DATE	AMENDMENT

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 50 Market Place, Thirsk
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Jones & Jones
 architects
 a partnership ltd

CLIENT:
MULGRAVE PROPERTIES

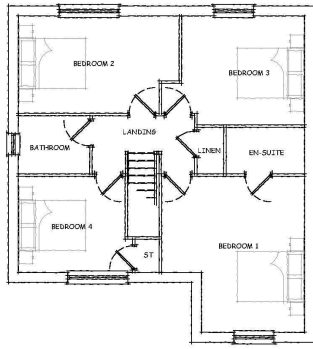
PROJECT:
 Development at Low Moorgate, Rillington

DATE VALID
 13/03/17

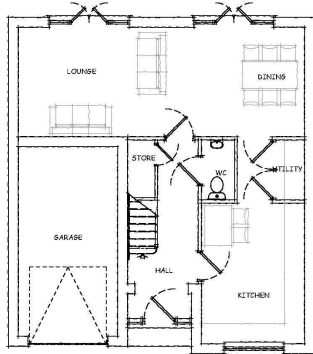
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SCALE:		DATE:	
1 : 100 @ A3		MARCH 2017	
DRAWN:	CHECKED:	DRWG NO:	REV:
JW	-	3751/PD/04	-

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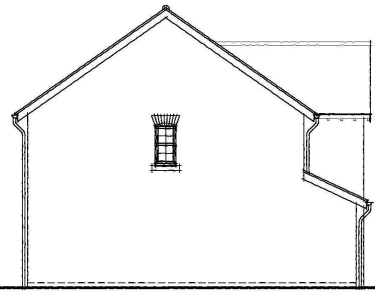
FIRST FLOOR PLAN



GROUND FLOOR PLAN



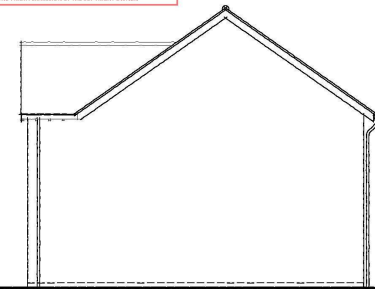
FRONT ELEVATION



SIDE ELEVATION



REAR ELEVATION



SIDE ELEVATION

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 50 Market Place, Thirsk
 North Yorkshire YO7 1LW

CLIENT:
MULGRAVE PROPERTIES

PROJECT:
 Development at Low Moorgate, Rillington

DATE VALID
 13/03/17

DRAWING TITLE:
 Type G Planning Drawing

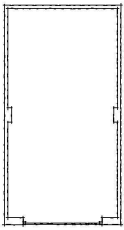
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DATE:
 MARCH 2017

DRAWN: JW
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 DWG NO: 3751/PD/05
 REV: -

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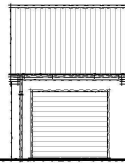
PLOT 10



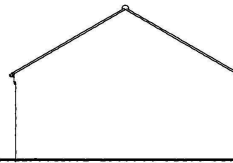
FLOOR PLAN

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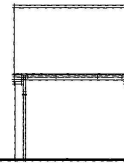
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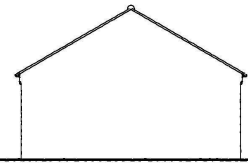
FRONT ELEVATION



SIDE ELEVATION

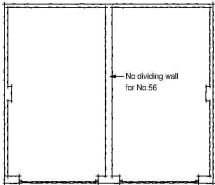


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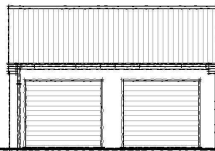
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PLOT 1 & 2 and No.56

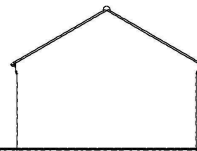


FLOOR PLAN

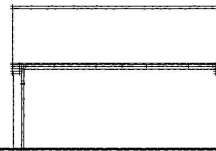
PLOT 1 & 2



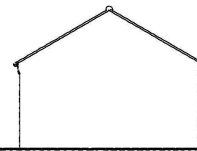
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SIDE ELEVATION

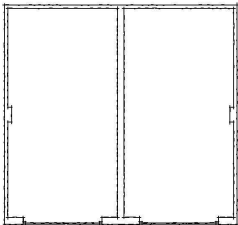


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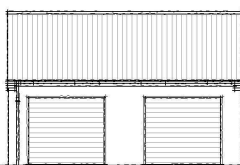
SIDE ELEVATION

PLOT 3 & 4

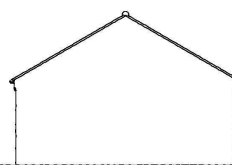


FLOOR PLAN

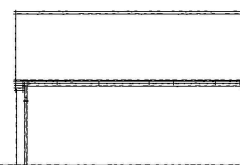
PLOT 3 & 4



FRONT ELEVATION



SIDE ELEVATION



REAR ELEVATION



SIDE ELEVATION



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 North Yorkshire YO7 1LW

CLIENT:
MULGRAVE PROPERTIES

PROJECT:
 Development at Low Moorgate, Rillington

DATE VALID
 13/03/17

DRAWING TITLE:
 Detached Garages

SCALE:
 1 : 100 @ A3

DATE:
 MARCH 2017

DRAWN: JW
 CHECKED: -
 DWG NO: 3751/PD/07
 REV: -

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NOTES
PROTECTION OF EXISTING VEGETATION

Existing vegetation to be retained on site shall be protected where necessary during works by a tree protective barrier, secured to a scaffold tubing framework with fluorescent tape to the top rail. Protective fencing shall be erected on the canopy drip line wherever possible. Laminated, waterproof A4 signs shall be fixed to the fence posts at 10m intervals bearing the words 'PROTECTED TREE ZONE - NO STORAGE OR OPERATIONS WITHIN FENCED AREA'.

Tracking of machinery, storage of chemicals and building materials shall not be permitted within the protected area. Leaks or spills should be removed immediately and the contaminated soil replaced. No borings shall be 11 within 5m of the canopy spread. Any excavation work beneath the canopy spread shall be carried out by hand. All works affecting trees within the development shall be subject to BS 5837:2015.

TREE PLANTING

Tree planting as and where possible within the gardens of selected plots will break up the hard lines of the buildings and create focal points within the development. The tree species selected will maximise food and nectar sources for birds and invertebrates and complement the existing vegetation around the site. Trees will be planted as Heavy and Extra Heavy Standards to provide a degree of instant maturity to the development. Foundation design of new buildings shall accommodate proposed tree planting in accordance with NINE guidelines.

Species to be selected from:

- Acer campestre (Ac)
- Acer platanoides 'Laciniatum' (Apl)
- Alnus incana (Al)
- Betula pubescens (Ba)
- Betula utilis var. jacquemontii (Bu)
- Carpinus betulus (Cb)
- Malus sylvestris (Ms)
- Malus tchonoskii (Mt)
- Prunus padus (Pd)
- Prunus sargentii (Ps)
- Prunus subhirtella 'Autumnalis Rosea' (PsAR)
- Pyrus calleryana 'Chanticleer' (Pc)
- Sorbus aria (Sa)
- Sorbus aucuparia (Sca)
- Sorbus Embury (SE)
- Sorbus Joseph's Coat (SJC)
- Tilia x euclora (Te)
- Tilia cordata 'Green Spire' (TcGS)

SHRUB PLANTING

A mix of evergreen and deciduous shrubs will be planted in selected front gardens to soften the development and to provide a valuable food source for birds and invertebrates. A mix of medium/low shrubs will be planted to shrub beds with medium/large varieties used for informal hedging.

Species to be selected from: () density/m2

- Berberis frickii 'Amstelveen' (5), Berberis thunbergii 'Atropurpurea Nana' (5), Berberis cordifolia 'Silvercliff' (5), Buddleia davidii 'Lutchford' (2), Cornus alba 'Spaethii' (2), Cornus stolonifera 'Flaviramea' (2), Cotoneaster conspicuus 'Deconus' (6), Cotoneaster lacteus (2), Cotinus 'Alpina' (4), Elaeagnus pungens 'Nucula' (3), Escallonia Apple Blossom (4), Eucynonius fortunei 'Emerald Galet' (6), Festuca spp (6), Geranium Johnson's Blue (4), Hebe albertana 'Red Edge' (4), Hebe Autumn Glory (4), Hypericum x masonianum (4), Juniperus sabina 'Tamariscifolia' (3), Lavandula 'Hidcot' (6), Lonicera 'Maygreen' (4), Lonicera Silver Beauty (4), Nepeta fassenii (4), Perovskia Blue Spire (6), Phacelia var. Potentilla Red Ace (3), Prunus laurocerasus 'Zabellana' (3), Pycnanthemum 'Orange Churner' (3), Rubus x Betty Ashburner (4), Spiraea 'Gold Flame' (4), Spiraea Shirobana (4), Viburnum tinus 'Eve Price' (3)

Rev. A: Minor amendments to client requirements March 2017

<p>Wendell Hill Walesford Road Oxley Dale Huddersfield HD8 8JQ Telephone 01484 86000 Fax 01484 86000 Email info@fdalandscape.co.uk www.fdalandscape.co.uk</p>	<p>client: Mulgrave Properties</p>
	<p>project: Residential Development LOW MOORGATE, RILLINGTON</p>
<p>drawing title: LANDSCAPE MASTERPLAN</p>	<p>DATE VALID 15.05.17</p>
<p>scale: 1:2500 A2</p>	<p>date: Mar 17 SEL drawing no: R/1968/1A</p>



Streetscape Elevation 1 - Looking Towards New Site From Low Moorgate



Streetscape Elevation 2 - Looking Across New Site Towards Plots 1 - 7



Streetscape Elevation 3 - Looking Across New Site Towards Plots 8 - 10 & 56 Low Moorgate



Streetscape Elevation 4 - Looking Towards Plots 8 & 9

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 50 Market Place, Thirsk
 North Yorkshire YO7 1LW

MULGRAVE PROPERTIES

PROJECT:
 Development at Low Moorgate, Rillington

DRAWING TITLE:
 Indicative Streetscenes Planning Drawing

DATE VALID:
 13/03/17

SCALE:	DATE:
1 : 250 @ A3	MARCH 2017
DRAWN:	DWG NO:
JW	3700/PD/09
CHECKED:	REV:
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Agenda Item 8

Item Number: 8
Application No: 17/00347/MFUL
Parish: Malton Town Council
Appn. Type: Full Application Major
Applicant: Rainbow Equine Hospital
Proposal: Erection of a portal steel frame building to form both an infill between existing buildings and provide an insulated water proof shell over an existing building including installation of a first floor together with the extension of an adjacent single storey stable block to improve isolation facilities
Location: Rainbow Farm Veterinary Surgery Rainbow Lane Malton North Yorkshire YO17 6SG

Registration Date:
8/13 Wk Expiry Date: 6 July 2017
Overall Expiry Date: 11 May 2017
Case Officer: Charlotte Comforth **Ext:** 325

CONSULTATIONS:

Vale Of Pickering Internal Drainage Boards No comments to make
Parish Council No objection
Highways North Yorkshire No objections
Environmental Health Officer No views received to date

Neighbour responses: None

SITE:

The application site is located within open countryside to the north of Malton and south of the A64 bypass. The site is located on Rainbow Lane and is accessed from the east from Old Malton, via Westgate Lane.

The site contains a number of existing single storey and two storey buildings that are in use as the Rainbow Lane Equine Hospital. There are also two residential units located at the north end of the site.

PROPOSAL:

Erection of a portal steel frame building to form both an infill between existing buildings and provide an insulated water proof shell over an existing building including installation of a first floor together with the extension of an adjacent single storey stable block to improve isolation facilities.

The ground floor 'infill' between the existing buildings will have a floor area of 487 square metres. The first floor 'infill' between the existing buildings will have a floor area of 663 square metres. The highest part of the infill building will measure 8.4 metres from ground level and have a span of approximately 27 metres on the west elevation and a span of approximately 30 metres on the southern elevation.

The extension to the adjacent single storey stable block will have a floor area of 63.8 square metres and mirror the existing ridge and eave height of the building (3.9 metres and 2.7 metres respectively)

HISTORY:

There is extensive planning history in connection with the site. The most recent and relevant includes:

- 03/01286/FUL - Planning permission granted 26.01.2004 - Erection of a two-bed detached dwelling.
- 09/00823/FUL - Planning permission granted 09.09.2009 - Erection of two-storey extension to form one-bedroom annexe.
- 10/01410/FUL - Planning permission granted 07.02.2011 - Erection of a steel framed building to provide extra stabling facilities.
- 11/00878/FUL - Planning permission granted 21.09.2011 - Erection of 3 no. stables.
- 16/00157/FUL - Planning permission granted 29.03.2016 - Erection of detached building comprising of 4no. stables and storage area, erection of infill extension to form additional equine facilities and erection of one bay extension to existing equestrian building to west elevation.

Members should note that an infill structure between the existing buildings was granted planning approval as part of application 16/00157/FUL. However, since that approval, the practice has continued to grow and the approved facilities no longer meet their requirements. Therefore, this planning application has been submitted and if approved will effectively, supersede the 16/00157/FUL approval. It should be noted that the detached building comprising of 4no. stables and storage area that was granted approval as part of the 16/00157/FUL have been already built.

POLICY:

The Ryedale Plan - Local Plan Strategy (2013)

Policy SP9 - Land Based Rural Economy

Policy SP13 - Landscapes

Policy SP16 - Design

Policy SP19 - Presumption in favour of sustainable development

Policy SP20 - Generic Development Management Issues

National Planning Policy Framework (NPPF) (2012)

Chapter 3. Supporting a prosperous rural economy

Chapter 7. Requiring good design

National Planning Policy Guidance (NPPG)

APPRAISAL:

The main considerations in relation to this application are

- i. The Principle of Development
- ii. Impact upon the wider open countryside
- iii. Impact on neighbour amenity
- iv. Highway safety
- v. Other Matters
- vi. Conclusion

i. Principle of Development

Policy SP9 (Land-Based and Rural Economy) of the Ryedale Plan - Local Plan Strategy supports the district's land-based economy with support for new buildings that are necessary to support land-based activity and a working countryside, including for farming, forestry and equine purposes.

Rainbow Lane Equine Hospital is an accredited RCVS Equine Hospital and has developed a reputation for providing excellent and valued equine veterinary care for the numerous owners, trainers, breeders of equine stock within Ryedale and the wider North Yorkshire area. In recent years, the practice has made a significant contribution to the development of equine veterinary in terms of knowledge and the development of techniques and equipment. Consequently, the practice has continued to expand and has become a major employer within the area and contributor to the local economy.

The erection of a portal steel frame building to form both an infill between the existing buildings and provide an insulated water proof shell over an existing building including installation of a first floor together with the extension of an adjacent single storey stable block to improve isolation facilities will allow for the business to develop and expand as an accredited Equine Hospital. It is considered that the principle of development is acceptable in this location.

ii. Impact upon the wider open countryside

To accord with Policies SP16 (Design) and SP20 (Generic Development Management Issues) and reinforce local distinctiveness, the location, siting, form, layout, scale and detailed design of new development should respect the context provided by its surroundings. Attention should be paid to plot sizes, the orientation of buildings, boundaries, spaces between buildings and the density, size and scale of buildings. Consideration must also be given to the type, texture and colour of materials, quality and type of building techniques and elements of architectural detail.

The infill building will be higher than the existing buildings on the site in order to accommodate a first floor that will allow for office space for a stage and a conference space. It will also be wider than the existing buildings on the site. There is a levels change on the site with the land rising to the south.

When viewing the site on higher ground at the southern end of Rainbow Lane, the building will be read in conjunction with the existing buildings on the site. The building will be visible from the A64 and the approach from the east along Rainbow Lane, but will again be read in conjunction with the existing buildings on the site, despite being of a larger scale in terms of width and height. The infill building will be fully constructed of clad on the roofs and wall with composite insulated profiled steel sheets to match the existing two storey stable block.

The extension of an adjacent single storey stable block to improve isolation facilities is considered to be of an appropriate scale, form and use of materials and will be read in the conjunction with the existing building and other buildings on the site.

Whilst it is noted that the infill building is large in scale, in terms of width and height, it is considered that the proposal is not considered to be detrimental to the character of the wider open countryside and it helps to consolidate the existing group of buildings.

There are also wider public benefits of expanding this existing equine facility.

iii. Impact upon neighbour amenity

In accordance with Policy SP20 (Generic Development Management Issues), new development will not have a material adverse impact on the amenity of present and future occupants, the users or occupants of neighbouring land and buildings or the wider community by virtue of its design, use, location and proximity to neighbouring land uses. Impacts on amenity can include, for example, noise, dust, odour, light flicker, loss of privacy or natural daylight or be an overbearing presence.

The proposed development is located to the south of existing residential buildings and involves an expansion of the existing veterinary use. The new development will be no closer to the residential buildings than the existing veterinary buildings. As such there is not considered to be a material adverse impact on the amenity of present and future occupants, in accordance with Policy SP20 of the Ryedale Plan - Local Plan Strategy.

Members should also note that the parcel of land to the south and west of the site has been granted outline planning permission for residential use as part of the 'Malton Cluster Sites' (Planning Reference 14/00429/MOUTE). However, it is considered that the scheme as approved on that site, shows significant areas of planting on the south and west boundaries to ensure that there will be adequate for separation between the proposed infill building and the residential dwellings that are likely to be built on the adjacent parcel of land.

iv. Highway safety

There are no Local Highway Authority objections to the proposal given that there are no changes to the employment numbers.

v. Other Matters

The Vale Of Pickering Internal Drainage Board have no comments to make regarding the proposal in terms of the disposal of surface water.

Malton Town Council has raised no objection to the proposal.

vi. Conclusion

In light of the above considerations, the proposal is considered to satisfy the relevant policy criteria outlined within Policies SP9, SP13, SP16, SP19 and SP20 of the Ryedale Plan - Local Plan Strategy and the National Planning Policy Framework. The proposal is therefore recommended for approval subject to the following conditions.

RECOMMENDATION: Approval

- 1 The development hereby permitted shall be begun on or before .

Reason:- To ensure compliance with Section 51 of the Planning and Compulsory Purchase Act 2004

- 2 The development hereby permitted shall be carried out in accordance with the following approved plan(s):

Site Plan #710186 - dated 03.02.2017.
Sketch Plan - GF Area - 2016_01_SK20_11
Sketch Plan - FF Area - 2016_01_SK20_12
REVISED Elevations - 2016_01_AR30_01_B.

Reason: For the avoidance of doubt and in the interests of proper planning.

Background Papers:

Adopted Ryedale Local Plan 2002

Local Plan Strategy 2013

National Planning Policy Framework

Responses from consultees and interested parties

Site Plan #710186



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0m 25m 50m 75m 100m 125m 150m 175m 200m

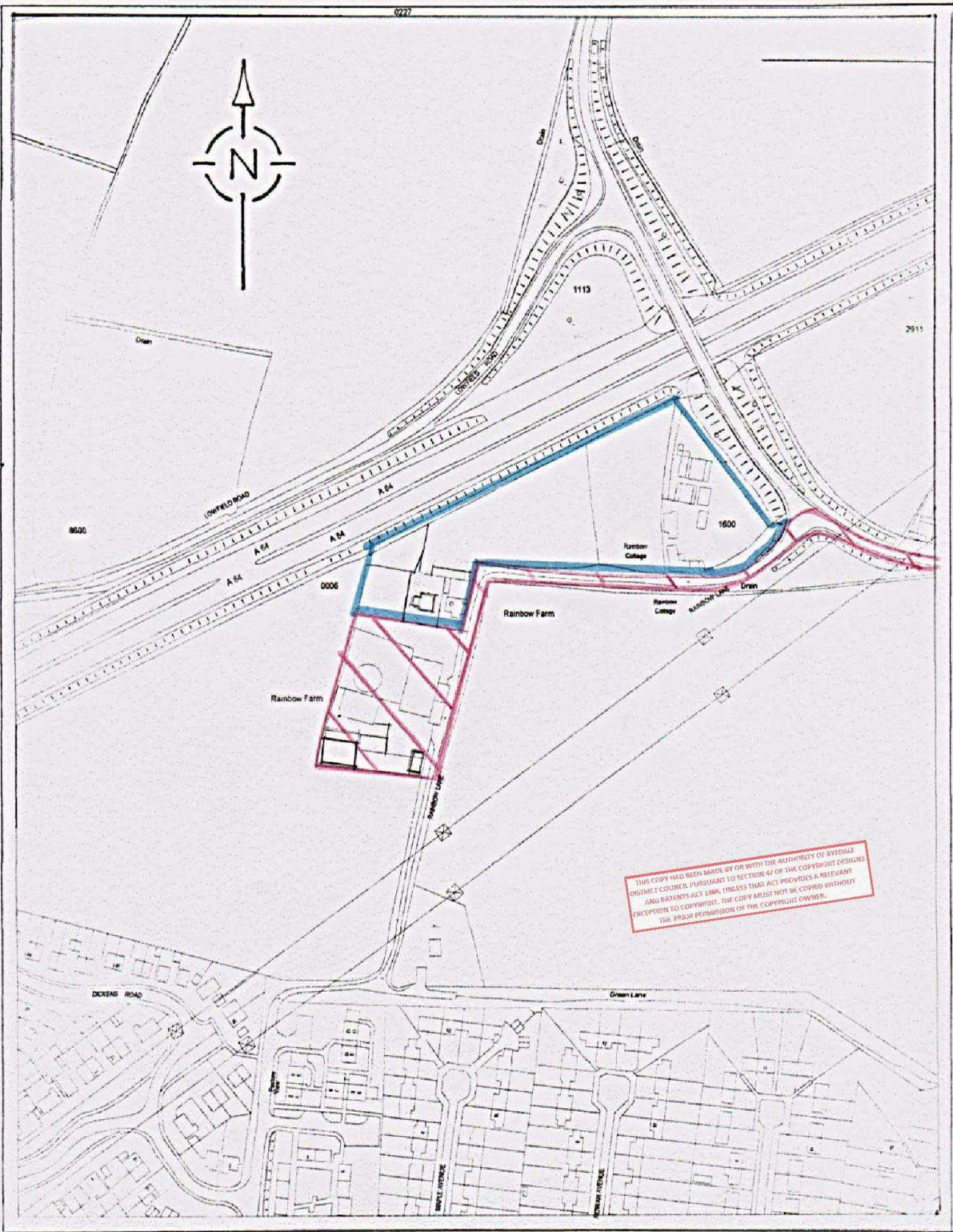
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DATE VALID
03/02/16

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Prepared by: Mike Punchard, 09-10-2014

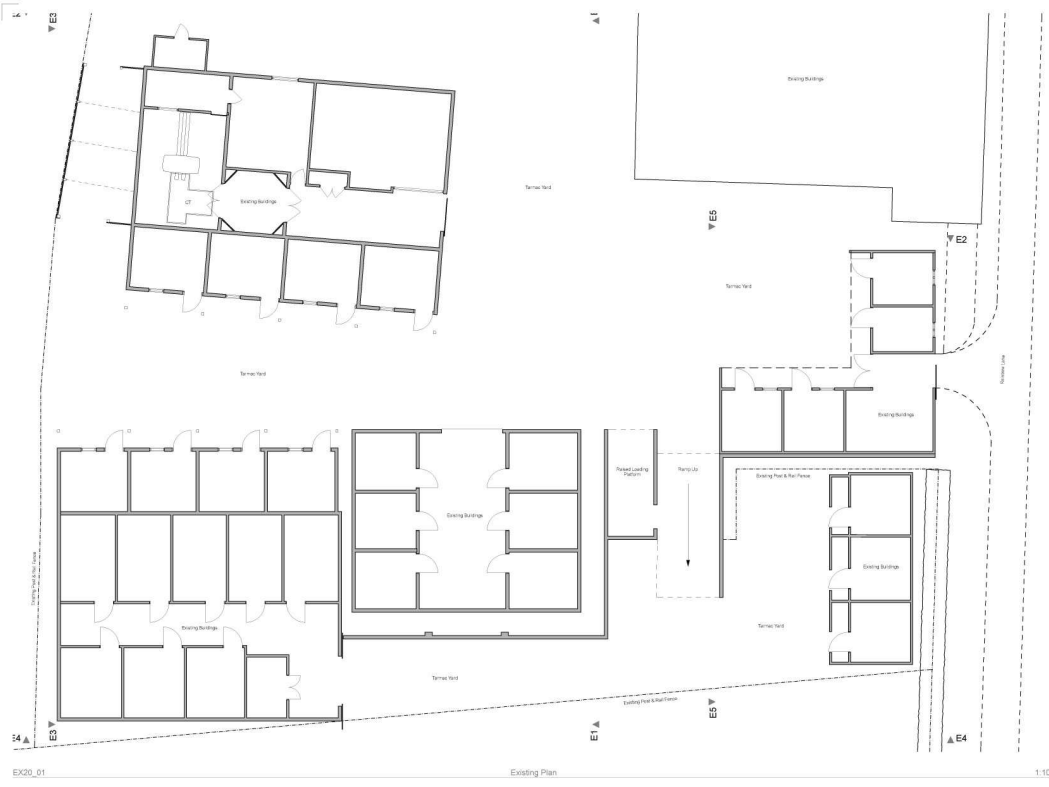


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Rainbow Equine Hospital.

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DATE VALID
03/02/16



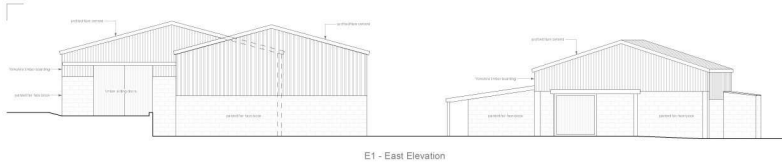
EX20_01

Existing Plan

1:100

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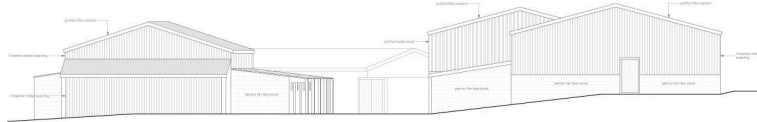
From		Rainbow Equine Hospital	
Site		Rainbow Farm, Old Station	
To		Rainbow Equine Hospital	
Plan			
Drawing			
Revision	Drawn	22.03.17	(24 Nov 2017)
A1	EM		
Scale	Sheet	2017_01_EX20_01	10
1:100			



E1 - East Elevation



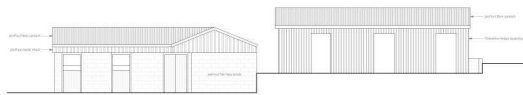
E2 - North Elevation



E3 - West Elevation



E4 - South Elevation



E5 - West Elevation

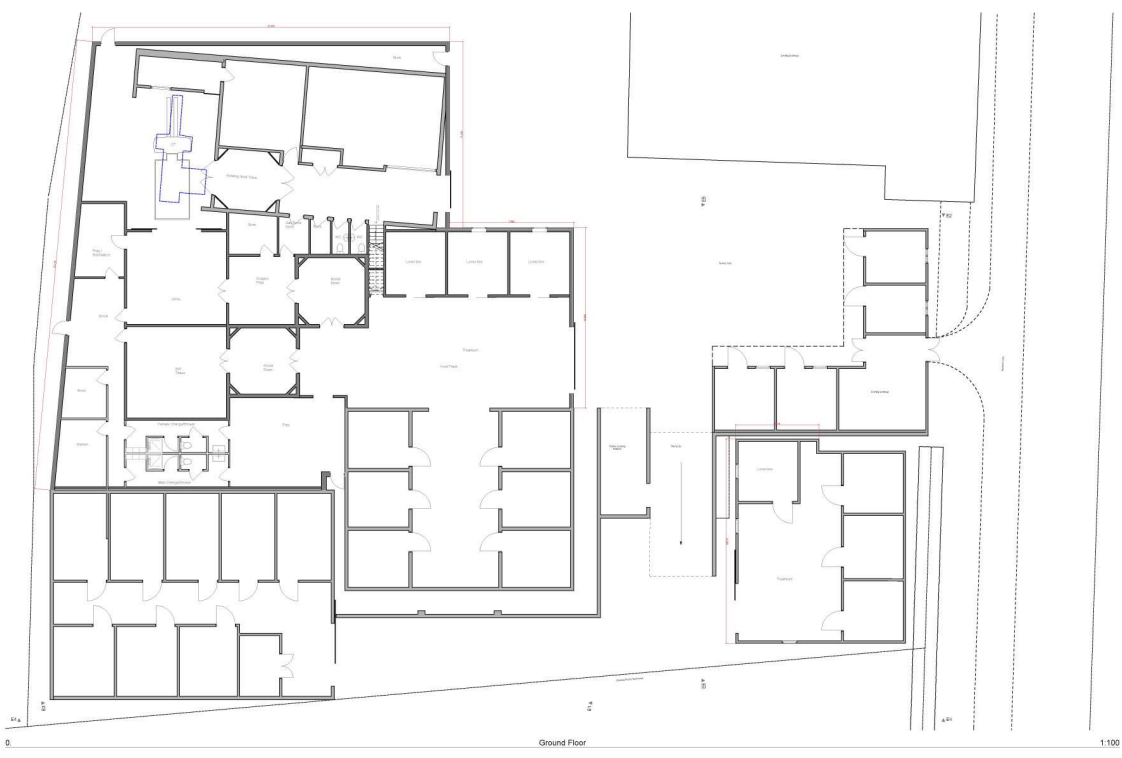
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Project		Rainbow Equine Hospital	
Client		Rainbow Farm, Old Station	
Site		Rainbow Equine Hospital	
Drawn		Elevations	
Existing		Elevations	
Sheet No.	Sheet	Drawn	Drawn Date (DD/MM/YY)
A1	EM	EM	04.04.17
Scale	Project	Project	Project
1:100			2016_01_EK30_01_A



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From		Rainbow Equine Hospital
Site		Rainbow Farm, Old Station
Client		Rainbow Equine Hospital
Drawn		Sketch Plan
Existing Area		
Revision	Drawn	Check
A1	EM	04.04.17
1:100	Scale	2016_01_SK20_10

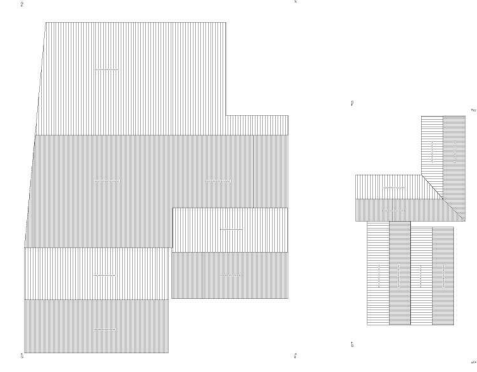


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Title		Rainbow Equine Hospital
Client		Rainbow Farm, Old Mason
Project		Rainbow Equine Hospital
Drawn		Ground Floor Plan
Proposed		
Project No	Drawn	File Number/Date
A1	BM	22.03.17
1:100	Scale	Project
		2016_01_AR20_01



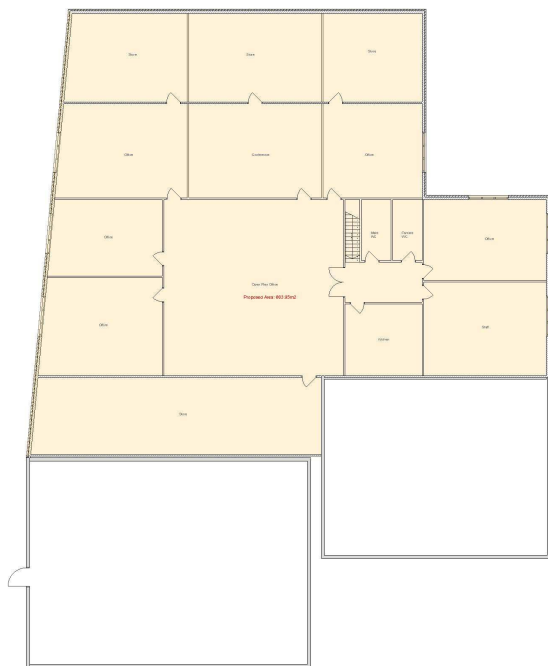
1 First Floor 1:100



2 Roof Plan 1:200

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Project			
Rainbow Equine Hospital			
Location			
Rainbow Farm, Old Maston			
Client			
Rainbow Equine Hospital			
Drawing			
Ground First Floor & Roof Plan			
Proposed			
Area No.	Sheet	File Number/Date	
A1	BM	22.03.17	
Scale	Sheet	Project	
1:100/200		2016_01_AR20_02	



SK20_12 First Floor Area 1:100

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Rainbow Equine Hospital			
Rainbow Farm, Old Mason			
Rainbow Equine Hospital			
Sketch Plan			
Proposed - FT Area			
Sheet	Rev	Date	Description
A1	01	04.04.17	
Scale	1:100	Project	2016_01_SK20_12

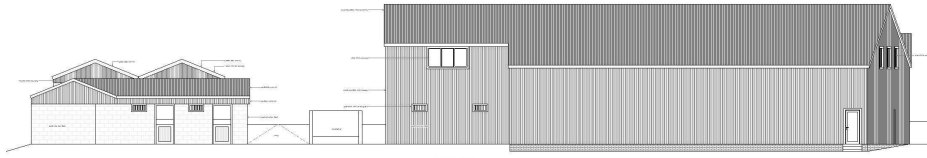
REVISED
24.05.17

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REVISED PLAN



AR30_01 Proposed Elevations 1:100



AR30_01 Proposed Elevations 1:100



AR30_01 Proposed Elevations 1:100



AR30_01 Proposed Elevations 1:100



AR30_01 Proposed Elevations 1:100

Client	Equus
Project	Rainbow Equine Hospital
Location	Rainbow Farm, Old Mason
Architect	Rainbow Equine Hospital
Scale	Proposed
Sheet No.	A1
Date	24.04.17
Scale	1:100
File Name	2016_01_AR30_01_B

Re: Design & Access Statement in respect of the Proposed erection of a Steel Portal Framed Building to form an extension to the existing equine facilities, and the construction of a block built, timber clad extension to the existing isolation stabling at Rainbow Equine Hospital, Rainbow Farm, Old Malton.

Rainbow Equine Hospital seeks Planning Approval for the erection of a portal steel frame building to form both an infill between existing buildings and provide an insulated water proof shell over an existing building. The proposals also include for the extension of a single storey stable block to improve isolation facilities.

Rainbow Equine Hospital is an accredited RCVS Equine Hospital located off Rainbow Lane, bordering the A64 bypass to the North of Malton. The hospital has developed a reputation for providing excellent and valued equine veterinary care for the numerous owners, trainers and breeders of equine stock in the Ryedale and wider North Yorkshire area. In recent years the practice has made a significant contribution to the development of equine veterinary medicine in terms of knowledge and the development of techniques and equipment. Consequently, the practice has continued to expand and has become a major employer and contributor to the local economy.

The major part of the proposed development comprises a large two storey portal steel framed building (approx.. 22m x 29m) which will abut the North Elevations of the existing two stable blocks in the South West corner of the site, and will bridge over the existing building to the North which contains the CT Scanning Equipment.

Permission was granted on 29th March 2016 for an infill structure between the above buildings (Ref:16/00157/FUL). However, since the approval for this scheme was granted, the practice has continued to grow at an unexpected rate and the approved facilities no longer meet their requirements. The new proposals will provide the required operating, preparation, stabling and welfare facilities and an improved CT scanning environment, all at ground floor level. The proposed first floor level will provide much needed management, administration, welfare, staff and storage facilities.

In addition to the requirement for extended and new facilities the practice has major concerns over the condition of the existing roof over the building containing the CT scanner. As the CT equipment is highly sensitive, there are concerns that it may be damaged either by water ingress or during the 'opening up' works required as part of the approved proposals.

The new proposals therefore, provide a practical solution that will allow the practice to maintain the existing building and protect the sensitive equipment within throughout the construction process. On completion of the new building, the roof of the existing building will be removed and the new first floor deck constructed over the existing building.

In order to meet the requirements of the Building Regulations Approved Document Part L for working environments, the proposed building will be fully clad on the roof and walls with composite insulated profiled steel sheets to match the existing two storey stable block. Local Plan Strategy Policies SP1 and SP16 have been taken into consideration in determining the location and in the proposed scale, design and choice of materials.

The second part of the proposals comprises the extension of the existing single storey stable block in the South East corner of the site. This facility is currently used for the isolation of animals but it does not adequately meet the requirements for isolation purposes. The proposals will provide an additional 74 sq. metres of internal space for additional stabling and also a sheltered preparation area. The existing building is constructed from fair-faced block partially clad with Yorkshire timber boarding, under a mineral fibre roof. The proposed extension will reflect the scale and style of the existing building.

The proposed new buildings have both been located and designed to have minimal impact when viewed from outside the site. Rainbow Farm is located close to the Northern boundary of the Malton Development boundary but due to the local topography it is significantly lower than the closest buildings and therefore, has no significant impact on the surrounding views.

The current parking provision on site are in excess of the current requirements and no amendments will be required to the current access as a result of the proposed development.

Rainbow Equine Hospital is an established and vital service provider and contributor to the local economy. The practice is keen to continue to grow and prosper within the Ryedale community. In order to achieve these aims it is essential that they are able to expand their current facilities. The proposals are considered to be in accord with Local Plan Strategy SP9.

It is considered that the proposals as a whole are in accordance with the following local planning policies:

Local Plan Strategy – Policy SP1 General Location of Development and Settlement Hierarchy.
Local Plan Strategy – Policy SP9 The Land Based and Rural Economy
Local Plan Strategy – Policy SP6 Design
Local Plan Strategy – Policy SP19 Presumption in Favour of Sustainable Development
Local Plan Strategy – Policy SP20 General Development Management Issues
National Planning Policy Framework
National Planning Policy Guidance

No objection

CC

DATE
28.04.17

Subject: 17/00347/MFUL

From: Clerk - MTC [<mailto:clerk@malton-tc.gov.uk>]

Sent: 27 April 2017 14:37

To: Development Management

Cc: clerk@malton-tc.gov.uk

Subject: Malton Town Council

Hi Karen

The following planning applications were discussed at the Malton Town Council meeting held on 26th April 2017, please see comments below:-

16/01640/FUL No objection

17/00324/LBC No objection

17/00347/MFUL No objection

17/00351/FUL No objection

17/00191/HOUSE No objection to the application but Members requested that neighbours concerns where taken into account

--

Regards

Gail Cook
Clerk to Malton Town Council

Tel: 01653 228699

Email: clerk@malton-tc.gov.uk

Community House, Wentworth Street, Malton, North Yorkshire, YO17 7BN

Agenda Item 9

Item Number: 9
Application No: 17/00405/MFUL
Parish: Weaverthorpe Parish Council
Appn. Type: Full Application Major
Applicant: Mr Anthony Milner
Proposal: Erection of 2no. agricultural buildings for the housing of 1,960 pigs to include demolition of existing agricultural buildings
Location: Dotterel Farm Main Road Weaverthorpe Malton YO17 8ET

Registration Date:
8/13 Wk Expiry Date: 11 July 2017
Overall Expiry Date: 25 May 2017
Case Officer: Alan Hunter **Ext:** Ext 276

CONSULTATIONS:

Countryside Officer	No objection
Archaeology Section	No objection
Building Conservation Officer	No Objection
Environmental Health Officer	No views received to date
Parish Council	No objection
Land Use Planning	No views received to date
Sustainable Places Team (Yorkshire Area)	Recommend conditions
Highways North Yorkshire	No objection
Parish Council	No views received to date

Neighbour responses: None

SITE:

The site lies within open countryside, located to the north-west of Weaverthorpe. The site is also within the Yorkshire Wolds Area of High Landscape Value.

The site forms an existing established farmstead, which operates a mixed arable and livestock enterprise. The existing livestock element of the enterprise includes rearing pigs. Dotterel Farmhouse is a Grade 2 Listed Building

PROPOSAL:

Planning permission is sought for the erection of 2 no. livestock buildings to replace existing buildings. The building will house 1960 pigs and will replace the existing buildings on the site. The buildings, the subject of this application, will be located on the western side of the farmstead. Each building will approximately measure 15.2m in width by 50.7m in length and be 2.1m to the eaves height and 4.4m to the ridge height. It is proposed to clad the buildings in profiled sheeting finished in olive green under a cement fibre sheeted roof.

As the total number of the pigs on the site does not exceed 3000, this application falls beneath the threshold of "Schedule 1 Development" in accordance with the Environmental Impact Regulations 2017. The proposal has been formally 'screened' and the Local Planning Authority has confirmed that the application does not comprise 'EIA development'.

HISTORY:

2013: Planning permission refused for the erection of 1 no. 55m high (overall tip height 81m) 500kw wind turbine to generate electricity for the National Grid with associated sub station, crane pad, access track and temporary construction compound.

2011: Planning permission granted for the formation of an all weather 44m by 25m menage for private use.

1997: Listed Building Consent granted for the insertion of window to first floor on west elevation and demolition of north wing chimney stack.

1991: Planning permission granted for the erection of an 18m diameter wind turbine on 30m high tower

1980: Planning permission granted for the construction of two dry sow service farrowing houses and two bacon weaner houses.

1980: Outline application for the construction of an extensive pig unit to include dry sow and service house, farrowing house, flat deck, 3 weaner bacon houses, slurry store and grain store.

POLICY:

National Policy

NPPF 2012

NPPG 2014

Ryedale Plan - Local Plan Strategy

Policy SP9 - The Land-Based and Rural Economy

Policy SP13 - Landscapes

Policy SP20 - Generic Development Management Issues

APPRAISAL:

The main considerations in relation to this application are:-

- i) Siting, scale, design and external appearance of the building;
- ii) Impact upon the special scenic quality of the Area of High Landscape Value;
- iii) Highway safety;
- iv) Landscaping;
- v) Impact upon the setting of Dotterel Farmhouse;
- vi) Impact upon the amenity of the adjoining neighbours; and
- vii) Archaeology.

Siting, scale, design and external appearance of the building

Policy SP9 and SP20 of the Ryedale Plan – Local Plan Strategy aim to ensure that new agricultural buildings have limited impact upon the character and appearance of the open countryside.

In this case, the buildings the subject of this application are to replace existing buildings. As such, the proposed buildings would appear as part of the existing group of buildings. There is existing planting to the northern and western boundaries that will limit the impact of the proposed buildings upon the wider area. The buildings are of a simple pitched roof design which is typical of other livestock agricultural buildings of this nature, elsewhere in the District.

Impact upon the special scenic quality of the Area of High Landscape Value

Policy SP13 of the Local Plan Strategy seeks to protect the special scenic qualities of the Yorkshire Wolds Area of High Landscape Value. The impact of the proposed development will be limited, with views of the site from the south, however, these will be of the buildings within the context of the existing farmstead. This is not considered to be visually intrusive. The proposal is considered to comply with the requirements of Policy SP9 of the Local Plan Strategy.

Highway safety

The application site is served by an existing access. The local Highway Authority has no objection to the proposed development.

Impact upon the amenity of the adjoining neighbours

The nearest residential dwellings are within the settlements of Weaverthorpe and Helpertorpe. In view of the separation distances, there is considered to be no adverse impact upon the residential amenity associated with nearby property, by virtue of noise, odour or dust. The Environmental Health Officer has been consulted on the application; however, no response has been received to date.

Impact of the setting of Dotterel Farmhouse

Dotterel Farm is a Grade 2 listed building. Policy SP12 of the Local Plan Strategy requires the an assessment of the proposal upon designated heritage assets, and the S66 of the Planning (Listed Buildings & Conservation Areas) Act 1990 places a duty on Local Planning Authority to consider the desirability of preserving the setting of listed buildings. In view of the siting and design of the proposed replacement buildings they are not considered to adversely affect the setting of the adjacent listed building. The Buildings Conservation Officer has no objection to the proposal.

Impact on archaeology

The application site is located in an area of archaeological interest; the County archaeologist has no objection to the proposal.

Other issues

The Parish Council and the Council's Countryside Management Officer has no objection to the proposal. The Environment Agency has not objected to the proposal, however, in order to protect ground water from pollution, a condition is required.

Conclusion

In view of the above, it is not considered that the development has any adverse impact on the Area of High Landscape Value. The building is considered to be acceptable in terms of its siting, design, scale and external appearance and is not prejudicial to the amenity of nearby residents or highway safety. The application is considered to accord with policy and accordingly, the recommendation is that this application be approved.

RECOMMENDATION: Approval

1 The development hereby permitted shall be begun on or before .

Reason:- To ensure compliance with Section 51 of the Planning and Compulsory Purchase Act 2004

- 2 Before the development hereby permitted is commenced, or such longer period as may be agreed in writing with the Local Planning Authority, details and samples of the materials to be used on the exterior of the building the subject of this permission shall be submitted to and approved in writing by the Local Planning Authority.

(NB Pursuant to this condition the applicant is asked to complete and return the attached proforma before the development commences so that materials can be agreed and the requirements of the condition discharged)

Reason: To ensure a satisfactory external appearance and to satisfy the requirements of Policy SP20 of the Ryedale Plan - Local Plan Strategy

- 3 The development hereby permitted may not commence until such time as a scheme to install the underground tanks has been submitted to, and approved in writing by, the Local Planning Authority.

The scheme shall include the full structural details of the installation, including details of: excavation, the tanks, tank surround, associated pipework and monitoring system. The scheme shall be fully implemented and subsequently maintained, in accordance with the scheme, or any changes subsequently agreed, in writing, by the Local Planning Authority.

Reason: To ensure that the underground storage tanks do not harm the water environment in line with paragraph 109 of the National Planning Policy Framework and Position Statement D2 'Underground storage (and associated pipework)' of the Environment Agency's Approach to Groundwater Protection.

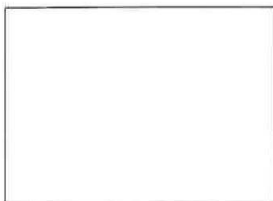
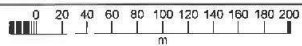
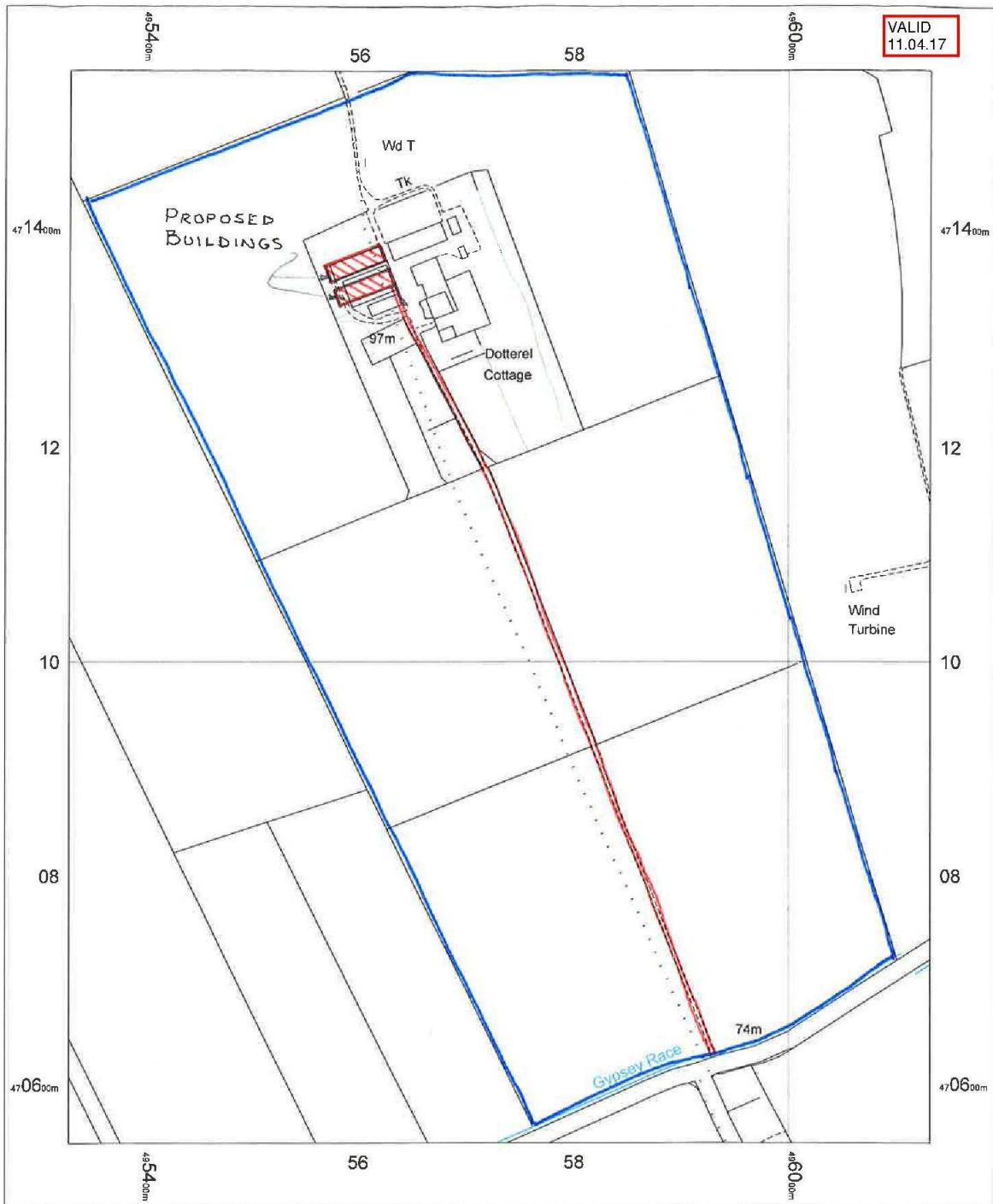
- 4 The development hereby permitted shall be carried out in accordance with the following approved plan(s):

- SITE LOCATION PLAN;
- 7219;

Reason: For the avoidance of doubt and in the interests of proper planning.

Background Papers:

Adopted Ryedale Local Plan 2002
Local Plan Strategy 2013
National Planning Policy Framework
Responses from consultees and interested parties



OS VectorMap Local - Landplan Style
 06 April 2017, ID: BLJT-00614067
www.planningapplicationmaps.co.uk
 1:5000 scale print at A4, Centre: 495731 E, 471051 N
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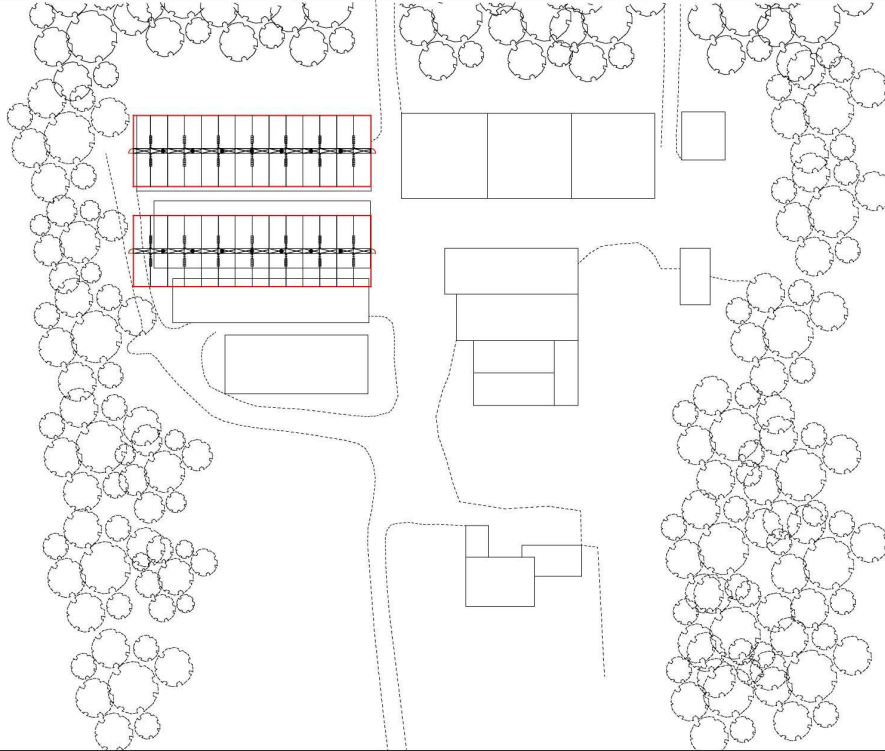
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No of pigs / pen	M ² / pig	weight in	weight out	Additional information :-
total No of pigs	pigs per room	drinker spec	feed type	

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11.04.17



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Fax: +44 (0) 1262 468656
e-mail: amwarkup@amwarkup.co.uk
web: www.amwarkup.co.uk

Client
Mr A Milner

Project detail
Proposed site layout

Project address
Dotterill Cottage Farm
Weaverthorpe
Malton
North Yorks YO17 8ET

scale / paper
1:500 A2

date
6-4-17

revision

job No

drawn
A Addy

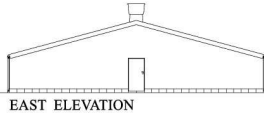
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7219

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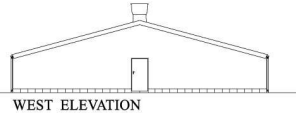
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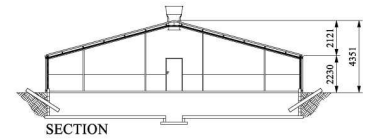
No of pigs / pen 35	M ² / pig 0.72m ²	weight in	weight out	Additional information :-
total No of pigs 980	pigs per room 980	drinker spec	feed type	



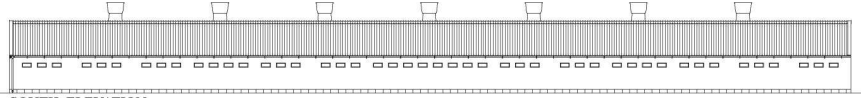
EAST ELEVATION



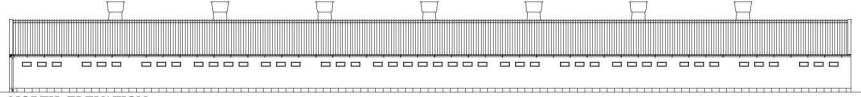
WEST ELEVATION



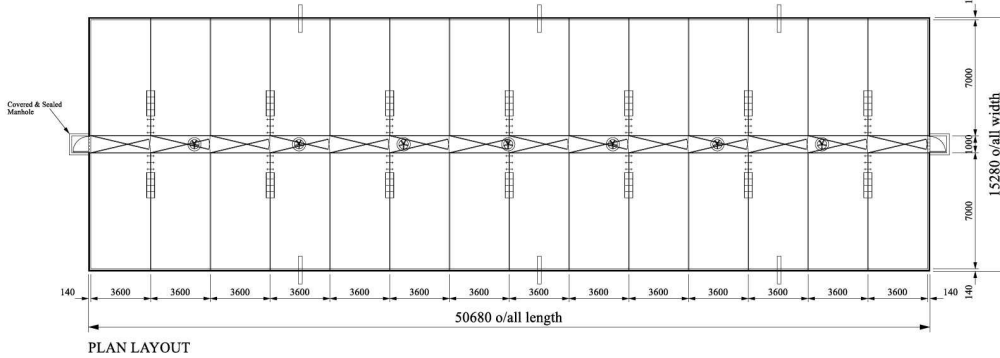
SECTION



SOUTH ELEVATION



NORTH ELEVATION



PLAN LAYOUT

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e-mail: amwarkup@amwarkup.co.uk
web: www.amwarkup.co.uk

Client
Mr A Milner

Project detail
Proposed finishing
accommodation

Project address

scale
1:100
A1

job No
A Addy

date
05-04-2017

revision

drawn
7138-1

revision	revision suffix

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11.04.17

Design & Access Statement

Proposed Pig Finishing Buildings at:

Mr. A Milner
Dotterel Farm
Weaverthorpe
Malton
North Yorkshire
YO17 8ET

Amount

The proposal seeks full planning permission for the erection of 2No. Piggeries for pigs from 40kg live weight to market weight of 110kg.

Use

Pigs require hygienic and warm conditions for their well being and growth. This proposal provides both. The pigs are moved from the grower house at about 80 days of age and placed in groups in this finisher building.

The buildings provide an optimal environment for the pigs – fresh air is provided to mix with the heat the pigs give off naturally. The mix of the two provides a warm and healthy environment for the animal.

Within each pen there are feeders and drinkers supplying food and water 24 hours per day – they are replenished automatically – the food from an internal food carrying auger fed from an external feed silo and water from storage header tanks within each room. Pigs are very clean animals and like to organise their living areas into zones of different activity.

Lighting is provided within the building at two levels – one – the lower for living conditions and the higher for examination of the pigs.

Extract fans and controlled inlets provide accurate ventilation for the animals well being.

Smell

The piggery is designed to store the effluent below slat level to minimise emissions and smell. The unit is designed to exhaust air at high level. The system is very popular in Germany where emissions to air are rigorously controlled.

The buildings are cleaned and disinfected between batches of pigs for control of disease and general cleanliness, the cleaner the facility the less the smell.

Smell – cleaning out

The liquid manure is cleaned out of the tank below the building before being spread to land. Methods are employed in line with the Code of Good Agricultural Practice for the protection of water issued by DEFRA.

With the rise in the cost of artificial fertilizers, natural fertilizers are becoming a valuable and valued commodity again. This gradual return to natural farming practices will improve the quality of the land in the longer term.

Dust

Dust is inevitably produced from food and the skin of the pig. Pelleting the food minimizes food based dust and the efficient ventilation system eliminates any possible problem. Most pig based dust is retained within the building and washed into the below slat tank during cleaning to be treated as part of the liquid effluent.

Flies

Management techniques for the elimination and control of flies are employed.

Rodents

The unit has a well managed rodent control programme vital where animal feed is available which is run under a council contract

Feral

The pigs permanently live within the building therefore predators are not a problem.

Layout

The layout of the buildings is determined by its purpose. Free access for the pigs to food, water, dunging facilities and rest areas is vital for their wellbeing. Modern facilities reflect these requirements with more and more space being given to each animal.

The buildings are part of a continuous process and its relationship to surrounding facilities, other buildings, feed storage and pig movement areas is important.

The building is designed to integrate with and complement existing facilities.

Scale

The size of the buildings has been determined by two factors. As already mentioned more space for each animal is required both for performance and well being and following several years of disease problems industry wide production has improved. These two factors have combined to leave most units requiring more space for the same number of breeding animals. This unit serves those animals. This building is run in conjunction with the existing facilities on this site.

Landscaping and Appearance

This building is an addition to a bigger overall unit and is designed to blend in as an addition to it. External treatment is to match the existing buildings and the surrounding area is to be treated in such a way as to blend with the existing surroundings.

Access

Vehicular access to the farm is existing and the added building is not going to significantly affect or increase traffic movements.

Access to the building for animals and humans will be by low walled races – extended from existing facilities.

Inclusive Access

Due to the nature of the development, a pig finishing house, inclusive access is not considered relevant.

A. M. WARKUP LTD
APRIL 2017

No objection

AH

DATE
16.05.17

Subject: 17/00405/MFUL

From: Weaverthorpe Parish Council
Sent: 16 May 2017 13:57
To: Development Management
Subject: Planning application no. 17/00405/MFUL

Weaverthorpe Parish Council met yesterday and have no objections to the above application.

Jeff House
Clerk to Weaverthorpe Parish Council
Tel: 01944 738841
Mobile: 07901 661508
email: weaverthorpeparishcouncil@gmail.com

Agenda Item 10

Item Number: 10
Application No: 17/00109/FUL
Parish: Terrington Parish Council
Appn. Type: Full Application
Applicant: EE Limited (James Hill)
Proposal: Erection of a 15m high telegraph pole style telecommunications mast with associated equipment cabinets and ancillary equipment and erection of an adjacent satellite backhaul dish on a 2.7m high pole all within a 1.2m high stock proof fenced compound together with formation of a 3m wide access track from Mowthorpe Lane and an area for the parking of vehicles
Location: Land To The East Of Mowthorpe Lane Terrington

Registration Date:
8/13 Wk Expiry Date: 29 March 2017
Overall Expiry Date: 3 March 2017
Case Officer: Charlotte Comforth **Ext:** 325

CONSULTATIONS:

Parish Council	Supports but requests conditions
Highways North Yorkshire	Recommend conditions
Paul Jackson AONB Manager	Concerns

Neighbour responses: Ms Kathryn Lazenby, David & Susan Mellows-Facer,

SITE:

The site is to the south of the village of Terrington. located within the wider open countryside, that is designated as the Howardian Hills Area of Outstanding Natural Beauty.

The site is located off Mowthorpe Lane, approximately 90 metres to the west of an existing field entrance off Mowthorpe Lane.

PROPOSAL:

Erection of a 15m high telegraph pole style telecommunications mast with associated equipment cabinets and ancillary equipment and erection of an adjacent satellite backhaul dish on a 2.7m high pole all within a 1.2m high stock proof fenced compound together with formation of a 3m wide access track from Mowthorpe Lane and an area for the parking of vehicles.

The site is to give coverage to the surrounding area and also link other sites into the Network. This is as part of a project to give mobile, data and emergency services coverage via mobile phones to more remote areas in the UK.

The application is presented to Members for determination because 2 letters of objection have been received from local residents, raising material planning considerations. These will be discussed in the appraisal section of this report.

Members should also note that extensive discussions have taken place between this provider and the provider of the mast at the Terrington Village Hall. In this instance, it is not possible for both Mobile Network Operators to share a site. The Telecommunication Notification for the mast at the Village Hall site has been determined and approved (Reference 17/00252/TELN56) on 28th April 2017.

A substantial structure and ground based area would have been required to accommodate the equipment of both operators. This would primarily comprise of the antennas themselves and the cabinets at ground level. It is not possible for both operators to share the same equipment given each has specific technical requirements relating to the bandwidths at which they operate. For example, it wouldn't be possible for the providers to simply use the equipment proposed at each site and vice versa. Therefore, a new substantially larger mast would have been required to accommodate both operators in a site sharing arrangement. Such structures where all Mobile Network Operators are accommodated are typically lattice type structures of 20 metres in height or more. This height is required so that the antennas can be arranged in a 'dual stack' formation so that the radio signals do not interfere with each other.

The agent has therefore requested that this application for a 15 metre high telegraph pole style telecommunications mast is determined as submitted.

HISTORY:

There is no planning history in connection with the site.

POLICY:

The Ryedale Plan - Local Plan Strategy (2013)

Policy SP 10 - Physical Infrastructure
Policy SP 13 - Landscapes
Policy SP 16 - Design
Policy SP 18 - Renewable and Low Carbon Energy Policy
Policy SP 19 - Presumption in Favour of Sustainable Development
Policy SP 20 Generic Development Management Issues

National Planning Policy Framework (2012)

Chapter 1 - Building a strong, competitive economy
Chapter 5 - Supporting high quality communications infrastructure
Chapter 11 - Conserving and enhancing the natural environment

National Planning Practice Guidance (2014)

APPRAISAL:

The main considerations to be taken into account are:

- i. Impact upon the visual amenity of the locality - The Howardian Hills Area of Outstanding Natural Beauty
- ii. Highway safety
- iii. Neighbouring amenity and safety
- iv. Other matters
- v. Conclusion

i. Impact upon the visual amenity of the locality - The Howardian Hills Area of Outstanding Natural Beauty

The Howardian Hills AONB Manager has stated the following with regard to the proposal:

1. The Howardian Hills AONB Management Plan seeks to support the roll out of mobile telecommunications infrastructure, where this can be achieved without impacting on the defined Special Qualities of the AONB.

2. The relationship to other nearby masts, and the assessment process by which this site was chosen, is impossible to assess due to a cut-and-paste error on p1 of the Site Detail document. Locations D1 and D2 are near Scarborough, as is Spikers Hill Farm as referenced in relation to D3. D4 clearly refers to a topographical location that is not Terrington, and I'm not sure where Hawthorne Wood might be. No map has been provided to show the locations of these alternatives (unsurprisingly, as it would show that they're all relating to another mast site on the south western edge of Scarborough), so this section is of no use in evaluating any site assessment process used.
3. As alluded to in comments submitted by Terrington residents, Vodafone/O2 are consulting independently on a proposed mast site very close by on the Village Hall playing fields. Whilst this application needs to be judged on its own merits, without reference to what may or may not be proposed or permitted in the future, the current increased speed of rollout of new masts by the two parallel networks does potentially cause issues.
4. As both networks are known to be looking to install very similar masts only 150m apart, I think in this case it is material to consider potential alternatives such as mast or site sharing.
5. In my view, mast sharing in this vicinity would create a more significant visual impact, as the resultant mast would need to be taller in order to accommodate both sets of antennae.
6. I'm not able to find reliable information indicating minimum separation distances for 15m masts with the type of antennae proposed, but I do feel that in this instance, and given the local landscape features, site sharing should be considered as a possibility. I would expect the two networks to be discussing their respective plans for this area and developing a joint proposal if possible.
7. Whilst the proposed site does make some use of an adjacent hedgerow tree as an existing landscape feature, I have concerns about the open nature of the site. As plots haven't been provided I'm unable to assess whether a site nearer the lane, or to the west of it, is technically feasible. This would make use of more substantial landscape features to act as screening.
8. Although the proposed monopole would be viewed against the sky from some viewpoints, it will also be seen in wider back-dropped views from other locations. In general I don't find that the galvanised steel finish is the most universally satisfactory, so if approved I would wish to see ALL equipment (including pole, shroud, microwave dishes and equipment cabinets) coloured to RAL 6003 in a matt finish.
9. The access track and vehicle parking area should be surfaced in a locally appropriate material such as limestone chippings.
10. Given the proximity of 11KV overhead power lines, I assume that a mains power supply will be connected. This would create a significant additional visual impact if it were to run overhead, so if Approved a Condition should be imposed to stipulate an underground power supply.

With regard to point 2, the agent has submitted a revised Site Detail document. The AONB Manager has stated that Terrington Moor would have been a less visually exposed location, but it is in a dip and I can see how that would have been rejected by Radio. Ray's Moor, dependent on exact location, might have been starting to impinge on the Castle Howard Registered Park & Garden, although if sited near the woodlands the public views would have been quite long-distance.

With regard to point 4, 5 and 6 extensive discussions have taken place between this provider and the provider of the mast at the Terrington Village Hall. In this instance, it is not possible for both Mobile Network Operators to share a site.

With regard to point 7, the site is open in nature and does make some use of an adjacent hedgerow tree as an existing landscape feature. Whilst there may be some visual impact of the proposed mast, it is considered that due to its slim monopole design and the equipment being coloured RAL 6003 (Dark Green) will help to mitigate this impact. Furthermore, the agent has stated that:

There are existing power lines along the road which is partly why we can't put it on the adopted highway. Therefore we sited this one next to a tree to provide some screening. We also took the decision to move the site as far away from the housing as possible. If we move it back to the west it will clip the hill and not cover the target road.

With regard to point 9, a condition will be attached to the Decision Notice if planning permission is granted regarding the surfacing treatments.

With regard to point 10, the agent has confirmed that the mains power supply would be underground.

It is considered that the proposal will not result in a material detrimental impact upon the natural beauty and special qualities of the AONB. The proposal is therefore considered to be compliant with Policies SP 13 (Landscapes), SP 16 (Design) and SP 20 (Generic Development Management Issues) of the Ryedale Plan - Local Plan Strategy.

ii. Highway safety

The Local Highway Authority has raised no objection to the proposal and have stated the following:

In assessing the submitted proposals and reaching its recommendation the Local Highway Authority has taken into account the following matters: The design standard for the site is DMRB and the required visibility splay is 2.4 metres by 90 metres. The available visibility is 2.4 metres by 90 metres. The existing field access gate is approximately 5 metres wide, and the verge crossing is un-made.

Due to the nature of traffic allied to the construction phase and subsequent maintenance vehicle visits, the access should be widened and upgraded in construction specification across the verge (the first 6 metres).

They have recommended that conditions relating to the verge crossings, the parking spaces to remain and precautions to prevent mud on the highway are attached to the Decision Notice if planning permission is granted.

iii. Neighbouring amenity and safety

2 letters of objection have been received from the occupiers of 3 Cliffe Mews and The Bungalow (South Back Lane). 3 Cliffe Mews is located approximately 700 metres to the north west of the site and The Bungalow is located approximately 600 metres to the north west of the site.

Their full letters of objection can be viewed on the Council's website, but in summary they state:

- Impact upon the AONB as a natural, unspoilt landscape
- The upgrade of existing masts
- No regard seems to be made to the sharing of masts within one small village
- Conifer tree design masts are available

A letter was subsequently sent by the Case Officer to both occupiers advising them why, in this instance it was not possible for both Mobile Phone Operators (this site and the Village Hall site) to share a mast. The occupier of 3 Cliffe Mews responded and have stated:

All our objections still apply.

If the planning committee is going to pass a 15m structure within an AONB then a 20m one would not make any difference as the natural beauty would have already been destroyed. There is plenty of room on the considered land for a 20m one as you are aware there is only one tree to 'hide' the mast. If the planning is agreed for this 15m mast what is the other alternative? 3 masts in Terrington to accommodate every provider??

Other options to consider which other planning district councils do is the siting of these masts in forests well hidden in the trees and/or on existing electricity pylons.

Additionally we already have very fast Broadband speeds and 'What's App' allows you free, clear calls from any network.

A company called 'Rural Sim' offers a sim card that roams between O2, Vodafone and EE without user intervention.

The emergency services have never had an issue here or in the surrounding area making contact or calls (a firefighter lives in the village and can confirm this).

Ultimately this is the countryside and an AONB for a reason.

Notwithstanding the above comments, in this instance, it has not been possible for both Mobile Network Operators to share a site. A mast within the Church Tower has also been mentioned but this is not something that the Local Planning Authority are aware of. It is considered that a conifer tree design mast would be more intrusive in this location. This proposal involves a slim, 15 metre high monopole design and the equipment being coloured RAL 6003 (Dark Green). A 20 metre shared high mast would need to be a lattice type structure, rather than a slim monopole design. The smaller slim monopole is considered to be less visually intrusive in this location and when read in conjunction with the existing tree within the hedgerow to the west of the mast and the hedgerow itself.

Policy SP20 (Generic Development Management Issues) of the Ryedale Plan - Local Plan Strategy states:

New development will not have a material adverse impact on the amenity of present or future occupants, the users or occupants of neighbouring land and buildings or the wider community by virtue of its design, use, location and proximity to neighbouring land uses. Impacts on amenity can include, for example, noise, dust, odour, light flicker, loss of privacy or natural daylight or be an overbearing presence

Developers will be expected to apply the highest standards outlined in the World Health Organisation, British Standards and wider international and national standards relating to noise

New development proposals which will result in an unacceptable risk to human life, health and safety or unacceptable risk to property will be resisted. Developers will be expected to address the risks/potential risks posed by contamination and/or unstable land in accordance with recognised national and international standards and guidance

All sensitive receptors will be protected from land and other contamination. Developers will be expected to assess the risks/ potential risks posed by contamination in accordance with recognised national and international standards and guidance

The submission of an ICNIRP certificate confirms that the development complies with health guidelines controlled by other legislative powers.

The proposal is not considered to be overbearing in presence to residential properties due to the physical separation from the site to the nearest residential properties which are in excess of approximately 400 metres from the site. The proposal is therefore considered to be compliant with Policy SP20 of the Ryedale Plan - Local Plan Strategy.

iv. Other matters

The Parish Council have stated the following with regard to the proposal:

Terrington Parish Council have given consideration to the above planning application. During a meeting of the public held in the village this week, attended by a number of Parish Councillors, a 'sounding' was taken to gauge the views of those present.

In accordance with the majority view expressed, Terrington Parish Council supports this application but strongly request that conditions to the granting of permission should include:

- Significant planting of screening with vegetation/ trees, appropriate as far as possible to this location within an AONB and which the operators of the site should remain under a duty to maintain and replace as and when necessary.
- A limitation on the heights of mast and satellite dish should the designs/ requirements change now or in the future for taller/ larger mast/ dish. Such limitation should not be to an extent that would prevent the sharing of a mast and other equipment on the site by other users.
- Upon completion or termination of the use of the site for telecommunications purposes, the operators should be required to dismantle, excavate and remove all above and below ground structures, restoring the ground to an approximation of its current state.

The feeling of the majority of Parish Councillors, in common with many at the public meeting, is that we do need improved mobile phone coverage and would not wish to be excluded from coverage by the proposed ESN (Emergency Services Network). The 'cost' is the visual intrusion of the equipment necessary, in an AONB. If a site were used that were to be of benefit to the community either due to it being concealed and/or generated revenue that came to the community, such a site might be preferred, although with the same conditions applying to any permission. Whilst there is currently only one planning application to be considered here, there are two mast site proposals. The second, for which a planning application is understood to be forthcoming, is also in Mowthorpe Lane but sited close to a corner of the village Recreation Ground/ Playing Field. This is for a different pair of mobile phone companies to the one who have already submitted an application. From views expressed at the public meeting, it was thought that you should be made aware of the second proposal. A third, using equipment located within the tower of the Church in Terrington, has been put on hold.

With regard to screening, the existing hedges and trees will be retained and the plan showing this will be added as an approved plan condition. This is considered acceptable. With regard to limitations on the height of the mast should any requirements change, some amendments may or may not require planning permission. If any amendments do require planning permission, the Parish Council would again be consulted and their comments taken into account as part of the decision making process.

Since this formal consultation response from the Parish Council, the notification for the mast at the Village Hall has been determined and approved. The Parish Council supported this proposal.

v. Conclusion

It is considered that the agent has demonstrated why this site is acceptable in planning terms to serve the coverage area required. The Local Planning Authority considers that the proposal will not have a material detrimental impact upon the natural beauty and special qualities of the AONB and it will provide the greatest amount of coverage for the area required. Furthermore, extensive discussions have taken place between this provider and the provider of the mast at the Terrington Village Hall. In this instance, it is not possible for both Mobile Network Operators to share a site.

On balance, in light of the above, the proposal is considered to meet the relevant policy criteria set out within Policies SP10, SP13, SP16, SP19 and SP20 of the Ryedale Plan - Local Plan Strategy and within the National Planning Policy Framework. The proposal is therefore recommended for approval.

RECOMMENDATION: Approval

1 The development hereby permitted shall be begun on or before .

Reason:- To ensure compliance with Section 51 of the Planning and Compulsory Purchase Act 2004

2 Unless otherwise approved in writing by the Local Planning Authority, the telecommunications, antennas and associated equipment shall be painted RAL 6003 (Dark Green) within one month of the erection of the mast and equipment.

Reason:- To ensure a satisfactory external appearance and to comply with Policies SP13, SP16 and SP20 of the Ryedale Plan - Local Plan Strategy.

3 Prior to the commencement of the development hereby permitted, details of proposed planting to supplement existing landscape features, shall be submitted to the Local Planning Authority for approval in writing.

Reason: To comply with Policies SP13, SP16 and SP20 of the Ryedale Plan - Local Plan Strategy.

4 The development, use or works hereby permitted shall be discontinued and the land reinstated to its former condition if the use of the mast and associated equipment ceases.

Reason:- To ensure that the land is restored to its former use and to comply with Policy SP13 of the Ryedale Plan - Local Plan Strategy.

5 Prior to the commencement of the development hereby permitted, details of the hard landscaping and surfacing within the site shall be submitted to and approved in writing by the Local Planning Authority.

Reason: To satisfy the requirements of Policies SP13, SP16 and SP20 of the Ryedale Plan - Local Plan Strategy.

6 Unless otherwise approved in writing by the Local Planning Authority, there shall be no excavation or other groundworks, except for investigative works, or the depositing of material on the site until the access(es) to the site have been set out and constructed in accordance with the published Specification of the Highway Authority and the following requirements

c. The existing access shall be improved by widening to achieve a width of 10 metres at the carriageway edge and 6 metres at the highway / field boundary and upgrading of construction specification over the first 6 metres measured from the carriageway edge in accordance with Standard Detail number DC/E9A.

e. Any gates or barriers shall be erected a minimum distance of 10 metres back from the carriageway of the existing highway and shall not be able to swing over the existing or proposed highway.

g. Provision to prevent surface water from the site/plot discharging onto the existing or proposed highway shall be constructed in accordance with details that shall be submitted and agreed with the local planning authority in consultation with the local highway authority in advance of the commencement of the development and maintained thereafter to prevent such discharges.

h. The final surfacing of any private access within 10 metres of the public highway shall not contain any loose material that is capable of being drawn on to the existing or proposed public highway.

All works shall accord with the approved details unless otherwise agreed in writing by the Local Planning Authority.

Reason: In accordance with Policy SP20 of the Ryedale Plan - Local Plan Strategy and to ensure a satisfactory means of access to the site from the public highway in the interests of vehicle and pedestrian safety and convenience

- 7 Notwithstanding the provision of any Town and Country Planning General Permitted or Special Development Order for the time being in force, the areas shown on Drawing Number ESN5010/75251-02 Issue B for parking spaces, turning areas and access shall be kept available for their intended purposes at all times.

Reason: In accordance with Policy SP20 of the Ryedale Plan - Local Plan Strategy and to ensure these areas are kept available for their intended use in the interests of highway safety and the general amenity of the development.

- 8 There shall be no access or egress by any vehicles between the highway and the application site until details of the precautions to be taken to prevent the deposit of mud, grit and dirt on public highways by vehicles travelling to and from the site have been submitted to and approved in writing by the Local Planning Authority in consultation with the Highway Authority. These facilities shall include the provision of wheel washing facilities where considered necessary by the Local Planning Authority in consultation with the Highway Authority. These precautions shall be made available before any excavation or depositing of material in connection with the construction commences on the site and be kept available and in full working order and used until such time as the Local Planning Authority in consultation with the Highway Authority agrees in writing to their withdrawal.

Reason: In accordance with Policy SP20 of the Ryedale Plan - Local Plan Strategy and to ensure that no mud or other debris is deposited on the carriageway in the interests of highway safety.

- 9 Unless otherwise approved in writing by the Local Planning Authority, there shall be no HCVs brought onto the site until a survey recording the condition of the existing highway (Mowthorpe Lane, south of the access to the village hall / Southwood Farm) has been carried out, together with a schedule of monitoring inspections and carrying out of identified repairs during the construction period as covered by the overall programme of completing the works in a manner approved in writing by the Local Planning authority in consultation with the Highway Authority.

Reason: In accordance with Policy SP20 of the Ryedale Plan - Local Plan Strategy and in the interests of highway safety and the general amenity of the area.

- 10 Unless approved otherwise in writing by the Local Planning Authority there shall be no establishment of a site compound, site clearance, demolition, excavation or depositing of material in connection with the construction on the site until proposals have been submitted to and approved in writing by the Local Planning Authority for the provision of:
- a. on-site parking capable of accommodating all staff and sub-contractors vehicles clear of the public highway
 - b. on-site materials storage area capable of accommodating all materials required for the operation of the site.
 - c. The approved areas shall be kept available for their intended use at all times that construction works are in operation.

Reason: In accordance with Policy SP20 of the Ryedale Plan - Local Plan Strategy and to provide for appropriate on-site vehicle parking and storage facilities, in the interests of highway safety and the general amenity of the area.

- 11 The development hereby permitted shall be carried out in accordance with the following approved plan(s):

Site Location Plan - Drawing No ESN5010/75251-01
Site Layout Plan - Drawing No ESN5010/75251-02
Equipment Layout - Drawing No ESN5010/75251-03
South East Elevation - Drawing No ESN5010/75251-04
Antenna Schematic - Drawing No ESN5010/75251-08

Reason: For the avoidance of doubt and in the interests of proper planning.

Background Papers:

Adopted Ryedale Local Plan 2002
Local Plan Strategy 2013
National Planning Policy Framework
Responses from consultees and interested parties

PROPOSED EQUIPMENT

CABINET DETAILS:
 116x BLENDHEM CABINET ON NEW ROOT FOUNDATION
 DIMENSIONS: 1910X710X1854 HIGH
 MATERIAL: STEEL
 COLOUR: GREEN
 116x M4 LINK A/C CABINET ON NEW ROOT FOUNDATION
 DIMENSIONS: 600X500X1520 HIGH
 MATERIAL: STEEL
 COLOUR: GREEN
 15m HUTCHINSON TELEGRAPH POLE ON A NEW ROOT FOUNDATION

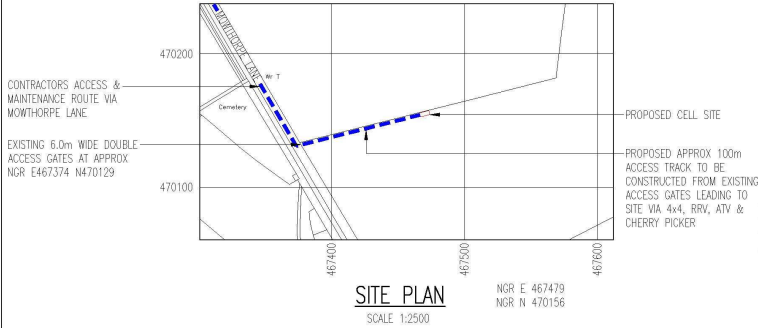
PROPOSED WORKS

- NEW SITE BUILD:
1. INSTALLATION OF NEW EXTERNAL BLENDHEM EQUIPMENT CABINET & M4 LINK/A/C CABINET ON NEW ROOT FOUNDATIONS.
 2. INSTALLATION OF 15m HUTCHINSON TELEGRAPH POLE ON A NEW ROOT FOUNDATION.
 3. NEW INCOMING POWER SUPPLY BY REC TO NEW M4 LINK A/C CABINET.
 4. NEW INCOMING TX SUPPLY TO NEW M4 LINK A/C CABINET.
 5. PROPOSED APPROX 100m LONG 3m WIDE ACCESS TRACK TO BE CONSTRUCTED FROM EXISTING ACCESS GATES LEADING TO SITE VIA 4x4, RRV, ATV & CHERRY PICKER

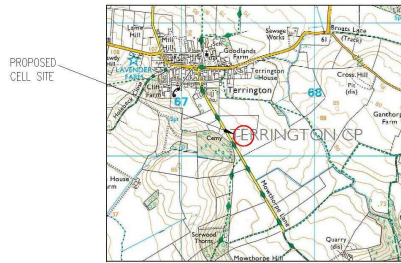
EXCLUSION ZONES CONFORM TO THE KNRIP REFERENCE LEVEL FOR LIMITED EXPOSURE TO MEMBERS OF THE GENERAL PUBLIC.



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SITE PLAN
 SCALE 1:2500
 NGR E 467479
 NGR N 470156



LOCATION PLAN
 SCALE 1:25000

REPRODUCED FROM ORDNANCE SURVEY PROMAP DATA © CROWN COPYRIGHT 2016
 LICENCE NUMBER 100020449

ROUTE ACCESS KEY

— 4x4, RRV, ATV & CHERRY PICKER ACCESS

NOTES:

ACCESS:
 UPON ARRIVAL IN THE VILLAGE OF TERRINGTON, TAKE THE TURNING FOR MOWTHORPE LANE. PROPOSED LOCATION IS SITUATED APPROX 100m FROM MOWTHORPE LANE WITHIN FARM FIELD.

A PROPOSED APPROX 100m LONG 3m WIDE STONE BASED ACCESS TRACK WILL BE REQUIRED TO ACHIEVE ACCESS LEADING TO SITE VIA 4x4, RRV, ATV & CHERRY PICKER.

OVERHEAD POWERLINES ARE APPROX 70m SOUTH WEST OF PROPOSED SITE LOCATION

B	ACCESS TO SITE CLARIFIED & SITE RE-LOCATED	12.01.17	AS	DM
A	ISSUED FOR APPROVAL	10.01.17	AS	DM

Hatfield Business Park
 Hatfield
 Hertfordshire
 AL10 9BW
 Tel: 01707 919300
 Fax: 01707 919001

WHP Wilkinson Helstby
 St. James Business Centre,
 Wiltropool Causeway, Warrington,
 WAA 6PS
 Tel: 01925 424100 Fax: 01925 424101
 email: info@wilkinson-helstby.co.uk

Site Name & Address:
 MOWTHORPE LANE, YORK, NORTH
 YORKSHIRE, YO60 6PZ

Title:
 PROPOSED TELECOMMUNICATIONS
 ESN5010
 SITE LOCATION

Purpose of Issue:
 PLANNING

Drawing No:
 ESN5010/75251 - 01

Cell No: 75251 **Site No:** ESN5010

Issue:	B	Scale:	AS STATED	CHK'D:	DMH	Date:	10.01.17
		Dim:	AS	Appr:	DMH	Date:	10.01.17

DATE VALID
 01.02.17

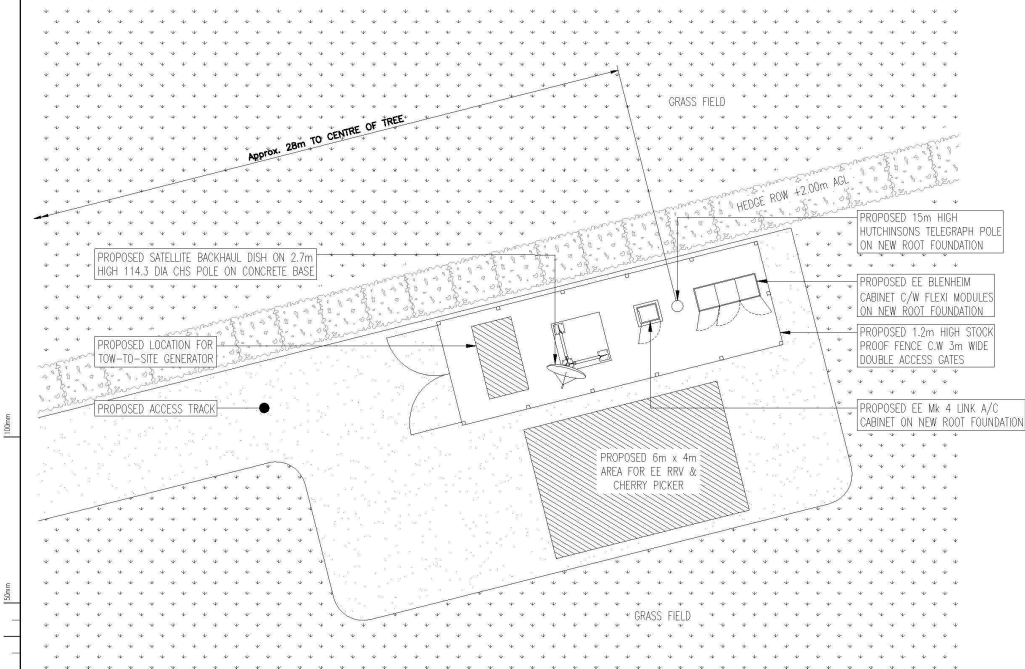
A3



NOTE:
PROPOSED TOWER TYPE,
HEIGHT & CONCRETE BASE
SIZE SUBJECT TO TRIAL DIG
AND GROUND INVESTIGATION

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NOTE:
BOXED TEXT INDICATES PROPOSED WORKS



SITE PLAN
SCALE: 1:100

B	ACCESS TO SITE CLARIFIED & SITE RE-LOCATED	12.01.17	AS	DMH
A	ISSUED FOR APPROVAL	10.01.17	AS	DMH

No.	Revision	Date	By	chkd

WHP Wilkinson Helstby
St. James Business Centre,
Wilkespool Causeway, Warrington,
WAA 6PS

Tel: 01925 424100 Fax: 01925 424101
email: whp@wilkinsonhelstby.co.uk

Site Name & Address:
MOWTHORPE LANE, YORK, NORTH YORKSHIRE, YO60 6PZ

Title:
PROPOSED TELECOMMUNICATIONS ESN5010 SITE LAYOUT

Purpose of Issue:
PLANNING

Drawing No:
ESN5010/75251 - 02

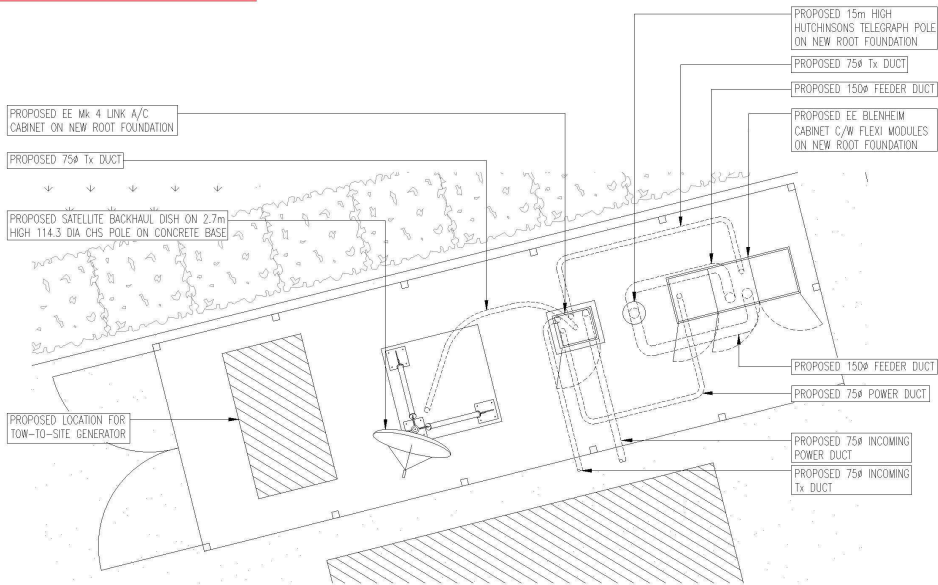
Cell No: **75251** Site No: **ESN5010**

Issue:	B	Scale:	AS STATED	Chk'd:	DMH	Date:	10.01.17
Drawn:	AR	Date:	10.01.17	Appr:	DMH	Date:	10.01.17

DATE VALID
01.02.17

A3

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NOTE:
BOXED TEXT INDICATES PROPOSED WORKS

B	ACCESS TO SITE CLARIFIED & SITE RE-LOCATED	12.01.17	AS	DM
A	ISSUED FOR APPROVAL	10.01.17	AS	DM

No.	Revision	Date	By	chkd



Hatfield Business Park
Hatfield
Hertfordshire
AL10 9BW
Tel: 01767 915300
Fax: 01767 919001



WHP Wilkinson Helstby
St. James Business Centre,
Wilkinson Caseway, Warrington,
WAA 6PS
Tel: 01925 424100 Fax: 01925 424101
email: info@wilkinsonhelstby.co.uk

Site Name & Address:
MOWTHORPE LANE, YORK, NORTH YORKSHIRE, YO60 6PZ

Title:
PROPOSED TELECOMMUNICATIONS ESN5010 EQUIPMENT LAYOUT

Purpose of Issue:
PLANNING

Drawing No:
ESN5010/75251 - 03

Cell No: **75251** Site No: **ESN5010**

Issue:	B	Scale:	AS STATED	Chk'd:	DMH	Date:	10.01.17
Rev:		Appr:		Appr:	DMH	Date:	10.01.17

PROPOSED EQUIPMENT LAYOUT
SCALE 1:50

100mm
50mm
0mm
A3

DATE VALID
01.02.17

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NOTE* SIGNAGE TO BE DISPLAYED WARNING CONTRACTORS WORKING WITHIN THE OCCUPATION NON COMPLIANCE ZONE

ICNIRP EXCLUSION ZONES ARE BASED ON VALUES WITHIN THE MBL ICNIRP COMPLIANCE CERTIFICATION DOCUMENT GSD008 RB.0

PROPOSED SITE TYPE OF (1800),
 USED VALUES FOR EE ONLY

PROPOSED WORKS: EE NEW BUILD SITE
 PROPOSED ANTENNA TYPE: HBX-901605-ATM
 PROPOSED BEARINGS: 300/60/180
 PROPOSED BUILD HEIGHT: 13.2m
 FRONT DISTANCE PUBLIC: 25.5m
 FRONT DISTANCE OCCUPATIONAL: 10.7m
 PUBLIC BUILD HEIGHT: 5.2m
 COMPLIANCE DISTANCES BASED ON THE FOLLOWING EQUIPMENT POWER:
 800MHz - 80W
 1800MHz - 320W

B	ACCESS TO SITE CLARIFIED & SITE RE-LOCATED	12.01.17	AS	DM
A	ISSUED FOR APPROVAL	10.01.17	AS	DM

No.	Revision	Date	By	chkd



Hatfield Business Park
 Hatfield
 Hertfordshire
 AL10 9BW
 Tel: 01707 919300 Fax: 01707 919001
 email: info@wilkinson-helstby.co.uk

WHP Wilkinson Helstby
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 Tel: 01925 424100 Fax: 01925 424101
 email: info@wilkinson-helstby.co.uk

Site Name & Address:
MOWTHORPE LANE, YORK, NORTH YORKSHIRE, YO60 6PZ

Title:
PROPOSED TELECOMMUNICATIONS ESN5010 SOUTH EAST ICNIRP ELEVATION

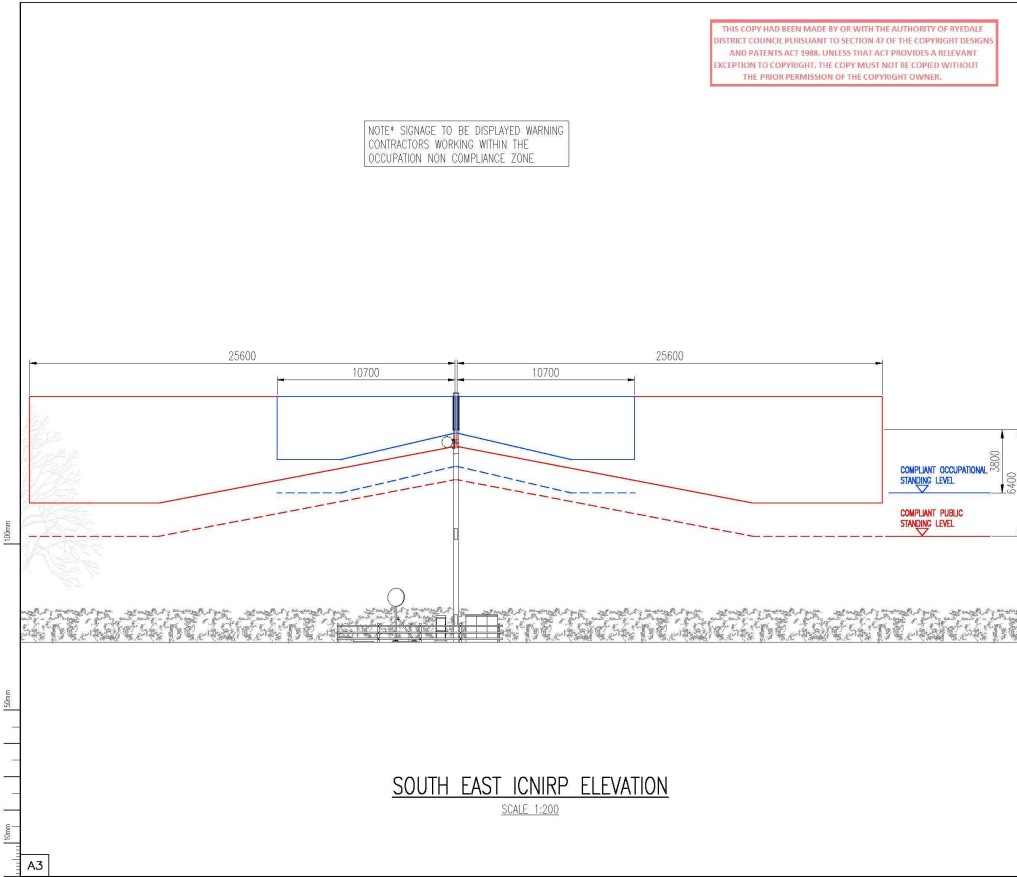
Purpose of Issue:
PLANNING

Drawing No:
ESN5010/75251 - 06

Cell No: **75251** Site No: **ESN5010**

Issue:	B	Scale:	AS STATED	CHK'd:	DM	Date:	10.01.17
Appr:	DM	Date:	10.01.17	Appr:	DM	Date:	10.01.17

DATE VALID
 01.02.17

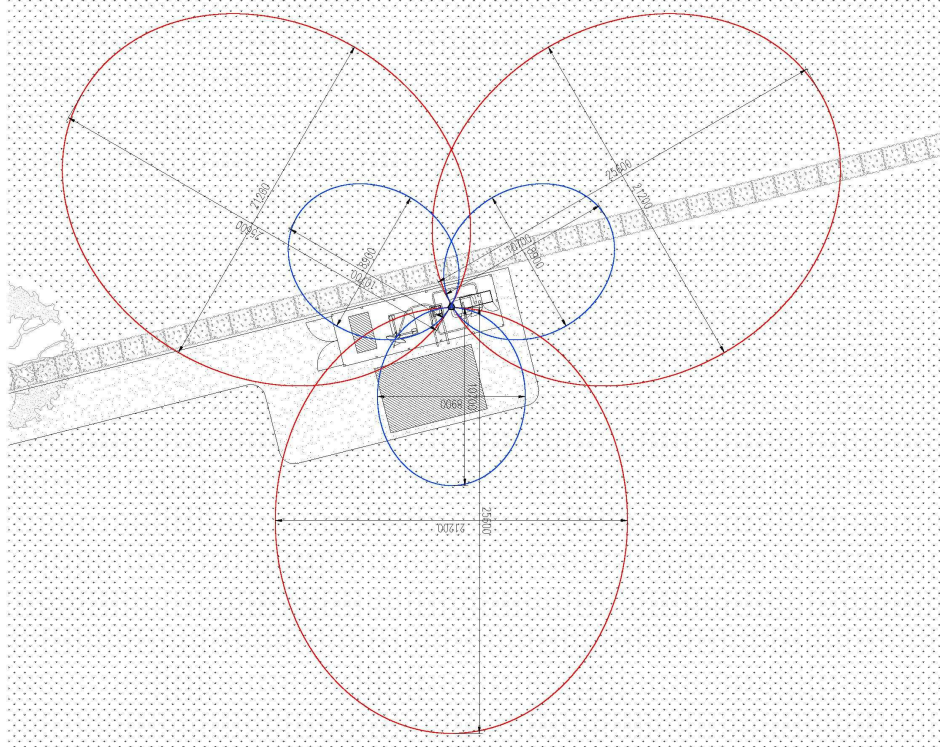


SOUTH EAST ICNIRP ELEVATION
 SCALE 1:200

A3

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NOTE* SIGNAGE TO BE DISPLAYED WARNING CONTRACTORS WORKING WITHIN THE OCCUPATION NON COMPLIANCE ZONE



ICNIRP PLAN

SCALE 1:200

ICNIRP EXCLUSION ZONES ARE BASED ON VALUES WITHIN THE MBSL ICNIRP COMPLIANCE CERTIFICATION DOCUMENT GSD008 RB.0

PROPOSED SITE TYPE OF (1800).
 USED VALUES FOR EE ONLY
 PROPOSED WORKS: EE NEW BUILD SITE
 PROPOSED ANTENNA TYPE: HBX-901605-A1M
 PROPOSED BEARINGS: 300/60/180
 PROPOSED BUILD HEIGHT: 13.2m
 FRONT DISTANCE PUBLIC: 25.5m
 FRONT DISTANCE OCCUPATIONAL: 10.7m
 PUBLIC BUILD HEIGHT: 5.2m
 COMPLIANCE DISTANCES BASED ON THE FOLLOWING
 EQUIPMENT POWER:
 800MHz - 80W
 1800MHz - 320W

B	ACCESS TO SITE CLARIFIED & SITE RE-LOCATED	12.01.17	AS	DM
A	ISSUED FOR APPROVAL	15.01.17	AS	DM

No.	Revision	Date	By	chkd
-----	----------	------	----	------

Hatfield Business Park
 Hatfield
 Hertfordshire
 AL10 9BW
 Tel: 01707 919300 Fax: 01707 919001
 email: info@hatfieldbusinesspark.co.uk

WHP Wilkinson Helstby
 St. James Business Centre,
 Willingdon Causeway, Warrington,
 WAA 6PS
 Tel: 01925 424100 Fax: 01925 424101
 email: info@wilkinson-helstby.co.uk

Site Name & Address:

MOWTHORPE LANE, YORK, NORTH
 YORKSHIRE, YO60 6PZ

Title:
 PROPOSED TELECOMMUNICATIONS
 ESN5010
 ICNIRP PLAN

Purpose of Issue:
 PLANNING

Drawing No:
 ESN5010/75251 - 07

Cell No: 75251 Site No: ESN5010

Issue:	B	Scale:	AS STATED	CHK'D:	DM	Date:	10.01.17
Drawn:	AR	Date:	10.01.17	Appr:	DM	Date:	10.01.17

DATE VALID
 01.02.17

ANTENNA KEY

OPERATOR	STATUS	ANTENNA REF	TECHNOLOGY	ANTENNA TYPE	ORIENT	CENTRE ANT HEIGHT (m)	E TILT	M TILT	COMMENTS	MHA TECHNOLOGY 1800	MHA TECHNOLOGY 800
EE	PROPOSED	EaA1	1800 (LTE&GSM)	HX-9016DS-A1M 2 P08T	300°	13.80	Z'	0°	DETAILS TBC	KATHREIN 78210584	—
EE	PROPOSED	EaA2	1800 (LTE&GSM)	HX-9016DS-A1M 2 P08T	60°	13.80	Z'	0°	DETAILS TBC	KATHREIN 78210584	—
EE	PROPOSED	EaA3	1800 (LTE&GSM)	HX-9016DS-A1M 2 P08T	180°	13.80	Z'	0°	DETAILS TBC	KATHREIN 78210584	—

FEEDER KEY

TECH	FEEDER SIZE	FEEDER LENGTH	QTY
1800 (LTE&GSM)	LDF5-50	20m	6

CABINET KEY

OPERATOR	STATUS	CABINET / RACK TYPE	COLOUR	SIZE (WxDxH)	COMMENTS
EE	PROPOSED	Wk 4 LINK A/C CABINET	GREEN	600x500x1520	NEW
EE	PROPOSED	BLENHEM CABINET	GREEN	1910x710x1854	NEW
EE	PROPOSED	HUTCHINSON TELEGRAPH POLE	BROWN	15m HIGH	NEW

DISH KEY

OPERATOR	STATUS	EQUIPMENT	COLOUR	SIZE (ø)	HEIGHT	BEARING
EE	PROPOSED	1No 600ø DISH	STANDARD	600mm	12.00m	124°

VSAT KEY

OPERATOR	STATUS	EQUIPMENT	COLOUR	SIZE (ø)	HEIGHT	BEARING
EE	PROPOSED	1No 1200ø DISH	STANDARD	1200mm	2.7m	TBC°

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B	ACCESS TO SITE CLARIFIED & SITE RE-LOCATED	12.01.17	AS	DM
A	ISSUED FOR APPROVAL	10.01.17	AS	DM

No.	Revision	Date	By	chkd



Hatfield Business Park
Hatfield
Hertfordshire
AL10 9BW
Tel: 01767 915300
Fax: 01767 919001

WHP Wilkinson Helstby
St James Business Centre,
Wilkespool Causeway, Warrington,
WAA 6PS
Tel: 01925 424100 Fax: 01925 424101
email: whp@wilkinsonhelstby.co.uk

Site Name & Address:

MOWTHORPE LANE, YORK, NORTH
YORKSHIRE, YO60 6PZ

Title:
**PROPOSED TELECOMMUNICATIONS
ESN5010
EQUIPMENT DETAILS**

Purpose of Issue:
PLANNING

Drawing No:
ESN5010/75251 - 05

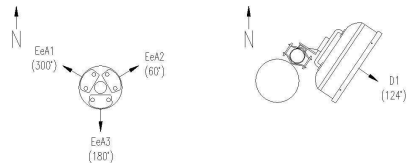
Cell No: **75251** Site No: **ESN5010**

Issue:	B	Scale:	AS STATED	Chk'd:	DM	Date:	10.01.17
Drn:	AR	Date:	10.01.17	App:	DM	Date:	10.01.17

DATE VALID
01.02.17

NOTE:
PROPOSED TOWER TYPE,
HEIGHT & CONCRETE BASE
SIZE SUBJECT TO TRIAL DIG
AND GROUND INVESTIGATION

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PROPOSED ANTENNA & DISH PLAN
SCALE 1:25

NOTE:
BOXED TEXT INDICATES PROPOSED WORKS

B	ACCESS TO SITE CLARIFIED & SITE RE-LOCATED	12.01.17	AS	DM
A	ISSUED FOR APPROVAL	15.01.17	AS	DM

No.	Revision	Date	By	chkd
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Hatfield Business Park
Hatfield
Hertfordshire
AL10 9BW
Tel: 01707 915300
Fax: 01707 919001

WHP Wilkinson Helstby
St. James Business Centre,
Wilkespool Causeway, Warrington,
WAA 6PS
Tel: 01925 424100 Fax: 01925 424101
email: info@wilkinson-helstby.co.uk

Site Name & Address:
**MOWTHORPE LANE, YORK, NORTH
YORKSHIRE, YO60 6PZ**

Title:
**PROPOSED TELECOMMUNICATIONS
ESN5010
SOUTH EAST ELEVATION**

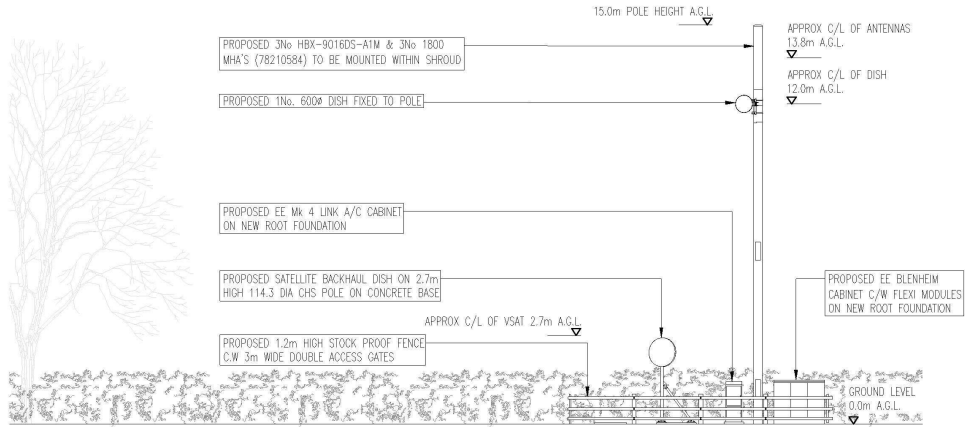
Purpose of Issue:
PLANNING

Drawing No:
ESN5010/75251 - 04

Cell No: **75251** Site No: **ESN5010**

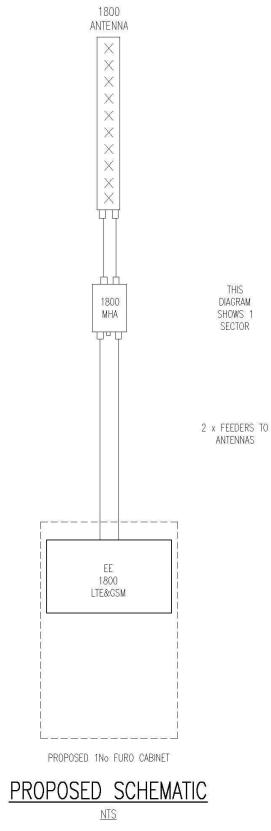
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Drawn:	AS	Date:	10.01.17	Appr:	DM	Date:	10.01.17

100mm
100mm
100mm
A3



DATE VALID
01.02.17

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10mm
10mm
10mm
A3

B	ACCESS TO SITE CLARIFIED & SITE RE-LOCATED	12.01.17	AS	DM
A	ISSUED FOR APPROVAL	10.01.17	AS	DM

No.	Revision	Date	By	chkd
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Hatfield Business Park
Hatfield
Hertfordshire
AL10 9BW
Tel: 01707 513300
Fax: 01707 513001

WHP Wilkinson Helsty
St. James Business Centre,
Wilkespool Caseway, Warrington,
WAA 6PS
Tel: 01925 424100 Fax: 01925 424101
email: info@wilkinsonhelsty.co.uk

Site Name & Address:
MOWTHORPE LANE, YORK, NORTH YORKSHIRE, YO60 6PZ

Title:
PROPOSED TELECOMMUNICATIONS ESN5010 ANTENNA SCHEMATIC

Purpose of Issue:
PLANNING

Drawing No:
ESN5010/75251 - 08

Cell No: **75251** Site No: **ESN5010**

Issue:	B	Scale:	AS STATED	Chk'd:	DM	Date:	10.01.17
Appr:	DM	Date:	10.01.17	Appr:	DM	Date:	10.01.17

DATE VALID
01.02.17

Terrington with Wiganthorpe and Ganthorpe Parish Council

Chairman

Mr. W. Winning
Plump House
Terrington
York YO60 6QB
01653 648409

Clerk

Mrs. A. Hartas
The Cherries
237 Strensall Road
Earswick
York YO32 9SW

24th February 2017

Dear Ms Hood,

APPLICATION NO: 17/00109/FUL
APPLICANT: EE Limited (James Hill)
DESCRIPTION: **Erection of a 15m high telegraph pole style telecommunications mast with associated...cabinets & equipment and an adjacent satellite backhaul dish on a 2.7m high pole all within 1.2m high stockproof fenced compound plus a 3m wide access track.....**
LOCATION: **Land to the east of Mowthorpe Lane, Terrington**

Terrington Parish Council have given consideration to the above planning application. During a meeting of the public held in the village this week, attended by a number of Parish Councillors, a 'sounding' was taken to gauge the views of those present.

In accordance with the majority view expressed, Terrington Parish Council supports this application but strongly request that conditions to the granting of permission should include:

- Significant planting of screening with vegetation/ trees, appropriate as far as possible to this location within an AONB and which the operators of the site should remain under a duty to maintain and replace as and when necessary.
- A limitation on the heights of mast and satellite dish should the designs/ requirements change now or in the future for taller/ larger mast/ dish. Such limitation should not be to an extent that would prevent the sharing of a mast and other equipment on the site by other users.
- Upon completion or termination of the use of the site for telecommunications purposes, the operators should be required to dismantle, excavate and remove all above and below ground structures, restoring the ground to an approximation of its current state.

The feeling of the majority of Parish Councillors, in common with many at the public meeting, is that we do need improved mobile phone coverage and would not wish to be excluded from coverage by the proposed ESN (Emergency Services Network). The 'cost' is the visual intrusion of the equipment necessary, in an AONB. If a site were used that were to be of benefit to the community either due to it being concealed and/or generated revenue that came to the community, such a site might be preferred, although with the same conditions applying to any permission. Whilst there is currently only one planning application to be considered here, there are two mast site proposals. The second, for which a planning application is understood to be forthcoming, is also in Mowthorpe Lane but sited close to a corner of the village Recreation Ground/ Playing Field. This is for a different pair of mobile

phone companies to the one who have already submitted an application. From views expressed at the public meeting, it was thought that you should be made aware of the second proposal. A third, using equipment located within the tower of the Church in Terrington, has been put on hold.

If you require any clarification of our views or the content of this letter, please do not hesitate to contact either our Parish Clerk or our Chairman.

Yours sincerely,

Bill Winning

Bill Winning

Karen Hood
Managing Development Team Leader
Ryedale District Council
Ryedale House
Malton YO177HH

Item Number: 11
Application No: 17/00356/FUL
Parish: Pickering Town Council
Appn. Type: Full Application
Applicant: Mr James Johnson
Proposal: Erection of single storey extension to the north elevation (revised details to refusal 16/01414/FUL dated 15.11.2016)
Location: Masonic Hall Bridge Street Pickering North Yorkshire YO18 8DT

Registration Date:
8/13 Wk Expiry Date: 25 May 2017
Overall Expiry Date: 11 May 2017
Case Officer: Charlotte Comforth **Ext:** 325

CONSULTATIONS:

Parish Council No objection
Highways North Yorkshire No objections
Sustainable Places Team (Yorkshire Area) Comments received

Neighbour responses: Mr P Croot, Mrs Kathleen Grayston,

SITE:

The Masonic Hall is a Grade II listed building located within the Market Town of Pickering and was formerly a chapel. The site is also located within the Pickering Conservation Area. The building is set behind 6 and 7 Bridge Street and pedestrian access is via a covered passageway between them.

The building is built mainly of stone with a pantile roof. The accommodation is on two floors, with dining and other facilities downstairs and the Masonic meeting room above. Historical maps dated 1832 and 18880 indicate that previously there as an extension about 4m wide on the north side.

PROPOSAL:

Erection of single storey extension to the north elevation (revised details to refusal 16/01414/FUL dated 15.11.2016)

Members should note that the current application should be read in conjunction with 17/00357/LBC.

The proposed single storey extension will measure 6.5 metres in width, 7.8 metres in depth (including the small flat roof link, 2.7 metres to the eaves and 5.3 metres to the ridge. The extension will be positioned 1.7 metres from the neighbours boundary wall at the closest point. 5.5 metres of the existing section of wall to the existing hall will be removed. The rear access door has been repositioned to the west elevation of the proposed extension.

The refused scheme was for a single storey extension that measured 7.5 metres in width, 7 metres in depth (including the small flat roof link, 2.7 metres to the eaves and 5 metres to the ridge. The extension was positioned millimetres from the neighbours boundary wall at the closest point. 5.8 metres of the existing section of wall to the existing hall was proposed to be removed and the existing rear access would be retained directly from the rear of the main hall.

Members should however note that this scheme was granted listed building consent (Reference 16/01415/LBC)

HISTORY:

The relevant planning history includes:

- 02/00812/LBC - Listed building consent granted 17.10.2002 - External and internal alterations to include removal of false ceiling and installation of beams and suspended ceiling.
- 16/01415/LBC - Listed building consent granted 15.11.2016 - Erection of single storey extension to the north elevation to include removal of section of north wall of existing Hall.
- 16/01414/FUL - Planning permission refused 15.11.2016 - Erection of single storey extension to the north elevation.

LEGISLATION AND POLICY:

Primary Legislation

Section 66 of the Planning (Listed Buildings and Conservation Areas) Act 1990

In considering whether to grant planning permission for development which affects a listed building or its setting, the local planning authority or, as the case may be, the Secretary of State shall have special regard to the desirability of preserving the building, or its setting or any features of special architectural or historic interest which it possesses.

Section 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990

In the exercise, with respect to any buildings or other land in a conservation area, of any [functions under or by virtue of] any of the provisions mentioned in subsection (2), special attention shall be paid to the desirability of preserving or enhancing the character or appearance of that area.

The Ryedale Plan - Local Plan Strategy (2013)

Policy SP12 Heritage

Policy SP16 Design

Policy SP20 Generic Development Management Issues

National Planning Policy Framework (2012)

Chapter 7. Requiring good design

Chapter 12. Conserving and enhancing the historic environment

APPRAISAL:

The main considerations to be taken into account are:

- i. Character and form - Impact upon the Listed Building
- ii. Impact upon the character of the Conservation Area
- iii. Impact upon neighbouring amenity
- iv. Other matters
- v. Conclusions

i. Character and form - Impact upon the Listed Building

The Building Conservation Officer has raised no objection to the proposal. Historical maps dated 1832 and 1880 indicate that previously there was an extension on the north side of the building. There is a small flat roof link between the main building and the proposed extension. The proposed extension will be constructed of natural stone and red clay pantiles. There will be painted timber door on the northern elevation and all rainwater goods will be cast iron.

The proposed extension is of a scale, form and detailed design that is appropriate and sympathetic to the character and appearance of the listed building, complying with Policies SP 12, SP 16 and SP 20 of the Ryedale Plan - Local Plan Strategy.

ii. Impact upon the character of the Conservation Area

It is considered that the proposed extension will not be detrimental to the character and appearance of the Pickering Conservation Area by virtue of its siting, scale, form and detailed design. The extension is relatively small scale, sympathetic to its surroundings and the character and appearance of the area is considered to be preserved.

iii. Impact upon neighbouring amenity

Bridge House, 8 Bridge Street

A letter of objection has been received from the occupier of Bridge House, 8 Bridge Street, Pickering. The full letter of objection can be viewed on the Council's website. They have made comments with regard to the listed building and attach their letter of objection from the previous planning and listed building consent applications.

With regard to neighbouring amenity, the occupiers have stated that the original planning application (Reference 16/01414/FUL) was refused upon the scale, height and proximity to the boundary of Bridge House and the reduction of natural light and sun light to the adjacent property. This is accurate. The changes to this planning application from the refused scheme include:

- Moving the proposed extension from the neighbouring boundary wall by 1.7 metres at the closest point
- Raising the roof height of the proposed extension by 0.3 metres

The rear of the Masonic Hall does stand at a higher level than the garden of Bridge House. However, the proposed extension is now proposed to be positioned 1.7 metres at the closest point. Members should also note that the rear garden of Bridge House extends to approximately 30 metres from the rear wall of Bridge House and has a depth of 15 metres from where the proposed extension will be positioned to Pickering Beck. The proposed extension will not be positioned to the immediate rear of Bridge House. There is a lean-to structure that is used as a car port to the rear of Bridge House.

It is considered that there will not be a material adverse impact upon the occupiers of Bridge House. This is in terms of being overbearing in presence and causing loss of sunlight to the garden space that is currently enjoyed by the occupiers of Bridge House, complying with Policy SP 20 (Generic Development Management Issues) of the Ryedale Plan - Local Plan Strategy.

Rose Cottage

A letter of objection has been received from the occupier of Rose Cottage, Pickering. The full letter of objection can be viewed on the Council's website. They have made comments regarding the extension obscuring the north facing first floor window. The original window on the north elevation will not be hidden by the proposed extension due to the slope of the roof. They have stated that the extension would be visible from the station.

Whilst the extension will be visible, it is considered that the proposed extension does not harm the character and appearance of the Grade II listed building or the Pickering Conservation Area. They have further stated that the trains are visible from Beck Isle Museum and this view would be lost by the height and bulk of the proposed extension. It is considered that these views are limited because of the intervening trees and vegetation from the elevated viewpoint on Pickering Bridge.

iv. Other matters

The Environment Agency has advised that the applicant considers the Standing Advice regarding flood risk as part of the planning application. They have also stated that the development may require a permit under the Environmental Permitting (England and Wales) Regulations 2010 for any proposed works or structures, in, under, over or within eight metres of the top of the bank of Pickering Beck which is designated as a 'main river'. This was formerly called a flood defence consent. Some activities are also not excluded or exempt.

The Local Highway Authority has raised no objection to the proposal.

Pickering Town Council have stated the following with regard to the application:

The council has studied the revised details re this application and has decided that they meet the concerns that were raised about the original application. Therefore, the council has no objections to the erection of a single storey extension to the north elevation at the Masonic Hall.

The agent has responded to the letters of objection and the incoming document from the agent can be viewed in full in the Council's website.

v. Conclusions

In light of the above, the proposal is considered to meet the relevant policy criteria outlined within Policies SP12, SP16, SP19 and SP20 of the Ryedale Plan - Local Plan Strategy and within the National Planning Policy Framework. The proposal is therefore recommended for approval, subject to the following conditions.

RECOMMENDATION: Approval

1 The development hereby permitted shall be begun on or before .

Reason:- To ensure compliance with Section 51 of the Planning and Compulsory Purchase Act 2004

2 Notwithstanding the submitted details, prior to the commencement of the development hereby permitted, or such longer period as may be agreed in writing with the Local Planning Authority, details and samples of the materials to be used on the exterior of the building the subject of this permission shall be submitted to and approved in writing by the Local Planning Authority.

Reason: To ensure a satisfactory external appearance and to satisfy the requirements of Policies SP12, SP16 and SP20 of the Ryedale Plan - Local Plan Strategy.

3 Prior to the commencement of the development hereby permitted, the developer shall construct on site for the written approval of the Local Planning Authority, a one metre square free standing panel of the external walling to be used in the construction of building. The panel so constructed shall be retained only until the development has been completed.

Reason: To ensure a satisfactory external appearance and to satisfy the requirements of Policies SP12, SP16 and SP20 of the Ryedale Plan - Local Plan Strategy.

- 4 Notwithstanding the submitted details, prior to the commencement of the development hereby permitted, details of all external joinery, including windows, doors and garage doors, including means of opening, depth of reveal and external finish shall be submitted to and approved in writing by the Local Planning Authority. These shall be shown on a 1:10 scale drawing.

Reason: To ensure an appropriate appearance and to comply with the requirements of Policies SP12, SP16 and SP20 of the Ryedale Plan - Local Plan Strategy.

- 5 Notwithstanding the submitted details, prior to commencement of the development hereby permitted, the precise details of any mechanical extraction or ventilation shall be submitted to and approved in writing by the Local Planning Authority.

Reason: To ensure an appropriate appearance and to comply with the requirements of Policies SP12, SP16 and SP20 of the Ryedale Plan - Local Plan Strategy.

- 6 Notwithstanding the submitted details, prior to commencement of the development hereby permitted, the precise details of any external guttering shall be submitted to and approved in writing by the Local Planning Authority.

Reason: To ensure an appropriate appearance and to comply with the requirements of Policies SP12, SP16 and SP20 of the Ryedale Plan - Local Plan Strategy.

- 7 The development hereby permitted shall be carried out in accordance with the following approved plan(s):

Site Location Plan - dated 30.03.2017.

Proposed Extension - Plans Drawing No 180 816 3

Proposed Extension - Elevations Drawing No 180816 4.

Reason: For the avoidance of doubt and in the interests of proper planning.

Background Papers:

Adopted Ryedale Local Plan 2002

Local Plan Strategy 2013

National Planning Policy Framework

Responses from consultees and interested parties

VALID
30.03.17

Location Plan

Scale 1:2500

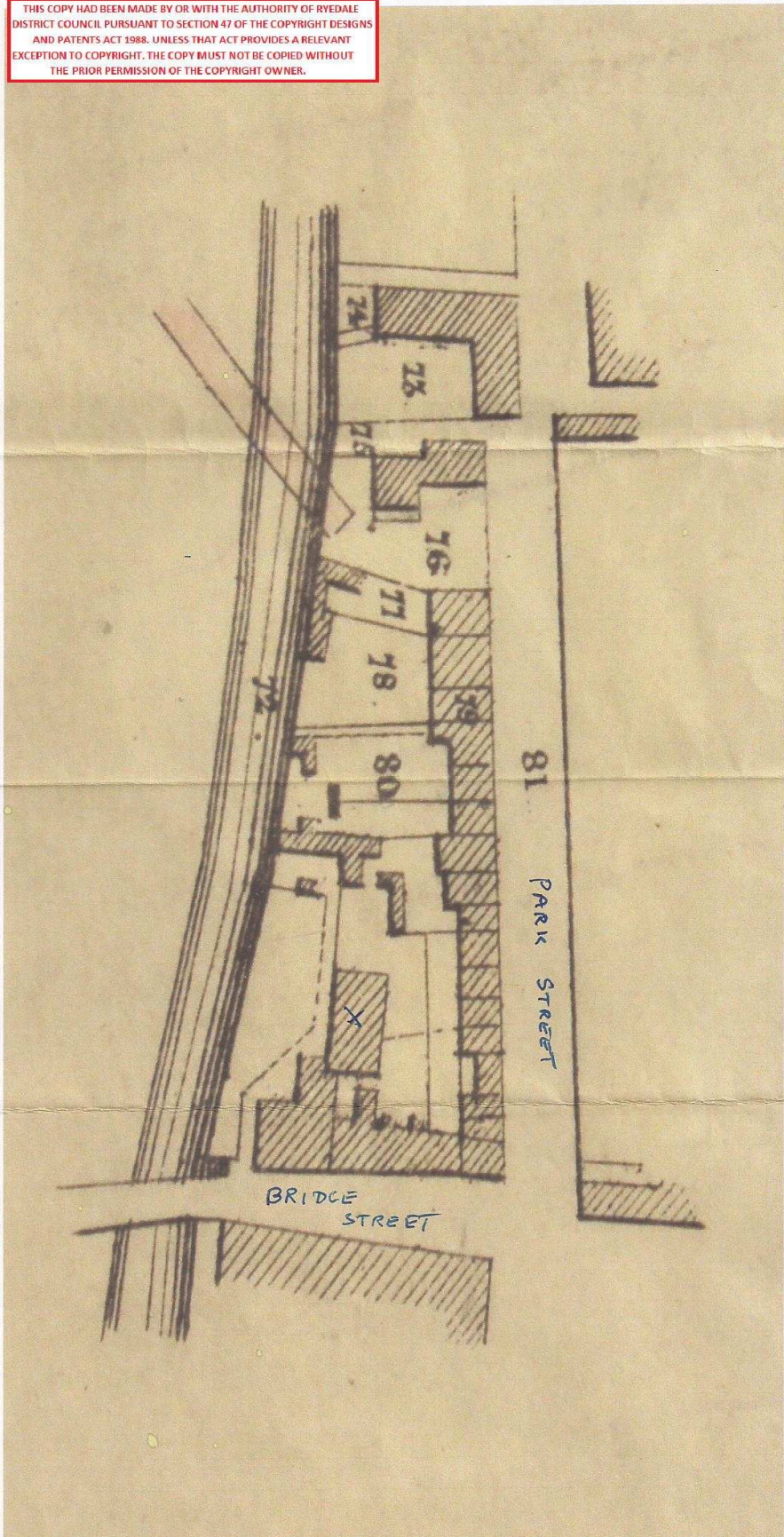


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Whitby & Pickering Railway survey 1832 - 81 is Park Street



X = Masonry Hall?

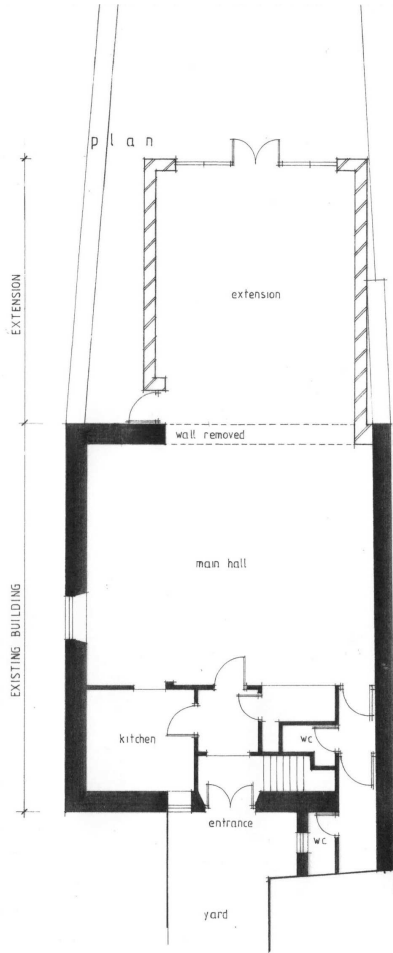
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X = Masonic Hall

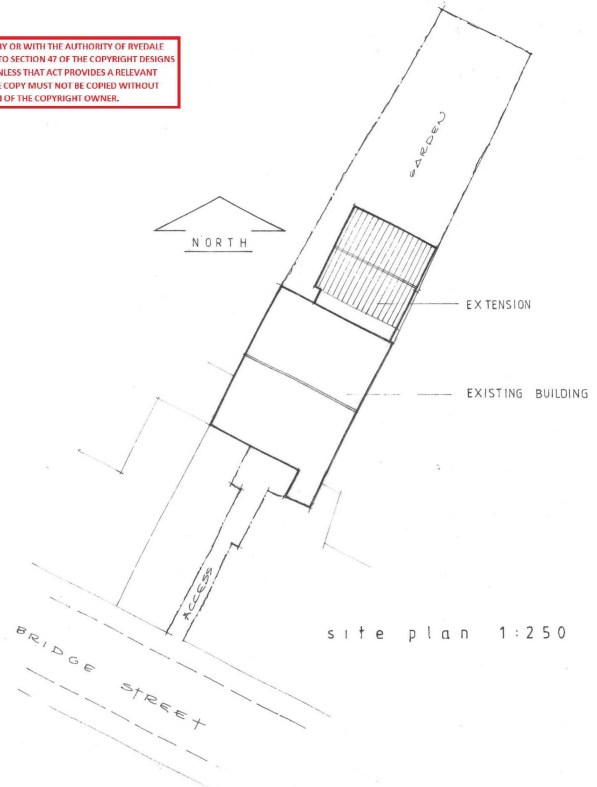
North Eastern Railway - Estates map c 1880.



VALID
30.03.17



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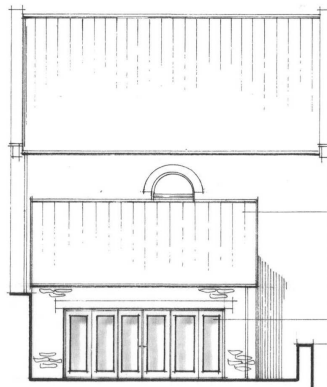


Peter Rayment Design Ltd architectural designers
Upping, Westgate, Thornton le Dale
Pickering YO18 7SB
email: raymentdesign@bt.com
tel: 01751 472541

PROPOSED EXTENSION - PLANS
PICKERING MASONIC HALL
BRIDGE STREET, PICKERING
Scale: 1:100 1:250 A3
No: 180 B16 3

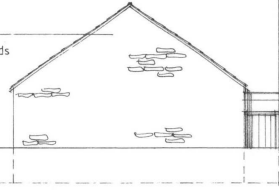
VALID
30.03.17

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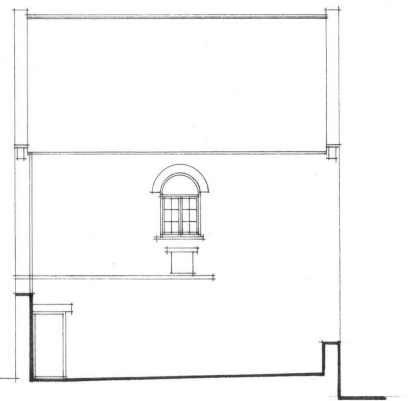
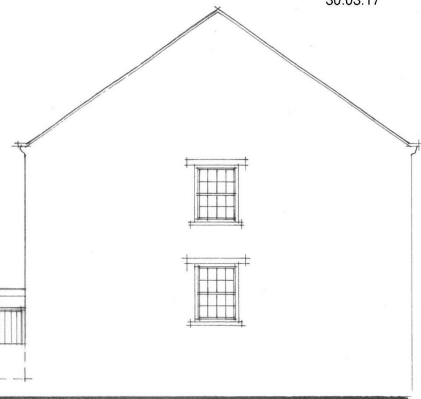


proposed north

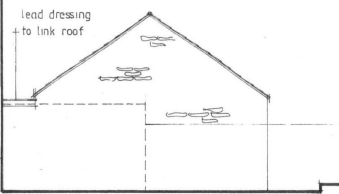
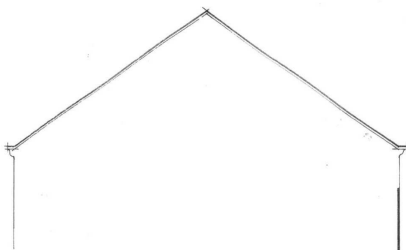
red clay panthiles
natural stone walls
cast iron rainwater goods
painted timber doors



west



existing north



east

Peter Rayment Design Ltd architectural designers
Upping, Westgate, Thornton le Dale,
Pickering YO6 7SS
email: raymentdesign@gmail.com
tel: 01751 472541

PROPOSED EXTENSION - ELEVATIONS
DICKERING MASONIC HALL
BRIDGE STREET, PICKERING
Scale: 1:100 1:250 A3
No: 180 816 41

No objection

CC

DATE
25.04.17

Subject: FW: 17/00356/FUL

From: Pickering Town Council [<mailto:townclerk@pickering.gov.uk>]

Sent: 25 April 2017 08:13

To: Development Management

Subject: 17/00356/FUL - Masonic Hall, Bridge Street, Pickering

The council has studied the revised details rethis application and has decided that they meet the concerns that were raised about the original application. Therefore the council has no objections to the erection of a single storey extension to the north elevation at the Masonic Hall.

Andrew Husband
Clerk to the Council

Item Number: 12
Application No: 17/00357/LBC
Parish: Pickering Town Council
Appn. Type: Listed Building Consent
Applicant: Mr James Johnson
Proposal: Erection of single storey extension to the north elevation to include removal of section of north wall of existing Hall
Location: Masonic Hall Bridge Street Pickering North Yorkshire YO18 8DT

Registration Date:
8/13 Wk Expiry Date: 25 May 2017
Overall Expiry Date: 11 May 2017
Case Officer: Charlotte Comforth **Ext:** 325

CONSULTATIONS:

Parish Council No views received to date
Building Conservation Officer No Objection

Neighbour responses: Mrs K Grayson, D & S Glanville, Mr P Croot,

SITE:

The Masonic Hall is as Grade II listed building located within the Market Town of Pickering and was formerly a chapel. The site is also located within the Pickering Conservation Area. The building is set behind 6 and 7 Bridge Street and pedestrian access is via a covered passageway between them.

The building is built mainly of stone with a pantile roof. The accommodation is on two floors, with dining and other facilities downstairs and the Masonic meeting room above. Historical maps dated 1832 and 18880 indicate that previously there was an extension on the north side of the building.

PROPOSAL:

Erection of single storey extension to the north elevation to include removal of section of north wall of existing Hall.

Members should note that this application should be read in conjunction with 17/00356/FUL.

The proposed single storey extension will measure 6.5 metres in width, 7.8 metres in depth (including the small flat roof link, 2.7 metres to the eaves and 5.3 metres to the ridge. The extension will be positioned 1.7 metres from the neighbours boundary wall at the closest point. 5.5 metres of the existing section of wall to the existing hall will be removed. The rear access door has been repositioned to the west elevation of the proposed extension.

The refused planning application (Reference 16/01414/FUL) was for a single storey extension that measured 7.5 metres in width, 7 metres in depth (including the small flat roof link, 2.7 metres to the eaves and 5 metres to the ridge. The extension was positioned millimetres from the neighbours boundary wall at the closest point. 5.8 metres of the existing section of wall to the existing hall was proposed to be removed and the existing rear access would be retained directly from the rear of the main hall.

Members should however note that this scheme was granted listed building consent (Reference 16/01415/LBC)

HISTORY:

The relevant planning history includes:

- 02/00812/LBC - Listed building consent granted 17.10.2002 - External and internal alterations to include removal of false ceiling and installation of beams and suspended ceiling.
- 16/01415/LBC - Listed building consent granted 15.11.2016 - Erection of single storey extension to the north elevation to include removal of section of north wall of existing Hall.
- 16/01414/FUL - Planning permission refused 15.11.2016 - Erection of single storey extension to the north elevation.

LEGISLATION AND POLICY:

Primary Legislation

Section 16 of the Planning (Listed Buildings and Conservation Areas) Act 1990

In considering whether to grant listed building consent for any works the local planning authority or the Secretary of State shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.

The Ryedale Plan - Local Plan Strategy (2013)

Policy SP12 Heritage

Designated historic assets and their settings, including Listed Buildings, Conservation Areas, Scheduled Monuments and Registered Parks and Gardens will be conserved and where appropriate, enhanced. Development proposals which would result in substantial harm to or total loss of the significance of a designated heritage asset or to the archaeological significance of the Vale of Pickering will be resisted unless wholly exceptional circumstances can be demonstrated. Proposals which would result in less substantial harm will only be agreed where the public benefit of the proposal is considered to outweigh the harm and the extent of harm to the asset.

National Planning Policy Framework (2012)

Chapter 12. Conserving and enhancing the historic environment

132. When considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation. The more important the asset, the greater the weight should be. Significance can be harmed or lost through alteration or destruction of the heritage asset or development within its setting. As heritage assets are irreplaceable, any harm or loss should require clear and convincing justification. Substantial harm to or loss of a grade II listed building, park or garden should be exceptional. Substantial harm to or loss of designated heritage assets of the highest significance, notably scheduled monuments, protected wreck sites, battlefields, grade I and II* listed buildings, grade I and II* registered parks and gardens, and World Heritage Sites, should be wholly exceptional.

133. Where a proposed development will lead to substantial harm to or total loss of significance of a designated heritage asset, local planning authorities should refuse consent, unless it can be demonstrated that the substantial harm or loss is necessary to achieve substantial public benefits that outweigh that harm or loss, or all of the following apply:

- the nature of the heritage asset prevents all reasonable uses of the site; and
- no viable use of the heritage asset itself can be found in the medium term through appropriate marketing that will enable its conservation; and

- conservation by grant-funding or some form of charitable or public ownership is demonstrably not possible; and
- the harm or loss is outweighed by the benefit of bringing the site back into use.

134. Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal, including securing its optimum viable use.

APPRAISAL:

The main considerations to be taken into account are:

- i. The impact of the alterations upon the significance on the listed building in terms of its historical and architectural fabric
- ii. Neighbour Objections
- iii. Other Matters
- iv. Conclusions

i. The impact of the alterations upon the significance on the listed building in terms of its historical and architectural fabric

The application has been accompanied by a Planning (Heritage, Design and Access Statement) which is attached to the agenda.

The Building Conservation Officer has raised no objection to the proposal. Historical maps dated 1832 and 1880 indicate that previously there was an extension on the north side of the building.

There is a small flat roof link between the main building and the proposed extension. The proposed extension will be constructed of natural stone and red clay pantiles. There will be painted timber door on the northern elevation and all rainwater goods will be cast iron.

The proposed extension is of a scale, form and detailed design that is appropriate and sympathetic to the character and appearance of the listed building.

The Planning (Listed Building and Conservation Areas) Act 1990 requires the Local Planning Authority to give special regard to the desirability of preserving the Listed Building or its setting or any features that it possesses.

ii. Neighbour Objections

Bridge House, 8 Bridge Street

A letter of objection has been received from the occupier of Bridge House, 8 Bridge Street, Pickering. The full letter of objection can be viewed on the Council's website. They have made comments with regard to the listed building and attach their letter of objection from the previous planning and listed building consent applications. The Building Conservation Officer has raised no objection to the proposal. There are considered to be public benefits of the scheme, including ensuring that there is long term viable use of the building.

The issue with regard to neighbour amenity will be considered as part of the FUL planning application (Reference 17/00357/FUL).

Beck Isle Cottage

A letter of objection has been received from the occupier of Beck Isle Cottage, Pickering. The full letter of objection can be viewed on the Council's website. They have made comments regarding the extension obscuring the north facing first floor window.

The original window on the north elevation will not be hidden by the proposed extension due to the slope of the roof. They have stated that the extension would be visible from the Beck Isle area and the station. Whilst the extension will be visible, it is considered that the proposed extension does not harm the character and appearance of the Grade II listed building or the Pickering Conservation Area.

Rose Cottage

A letter of objection has been received from the occupier of Rose Cottage, Pickering. The full letter of objection can be viewed on the Council's website. They have made comments regarding the extension obscuring the north facing first floor window. The original window on the north elevation will not be hidden by the proposed extension due to the slope of the roof. They have stated that the extension would be visible from the station. Whilst the extension will be visible, it is considered that the proposed extension does not harm the character and appearance of the Grade II listed building or the Pickering Conservation Area. They have further stated that the trains are visible from Beck Isle Museum and this view would be lost by the height and bulk of the proposed extension. It is considered that these views are limited because of the intervening trees and vegetation from the elevated viewpoint on Pickering Bridge.

iii. Other Matters

The agent has responded to the letters of objection and the incoming document from the agent can be viewed in full in the Council's website.

iv. Conclusions

In light of the above, the proposal is considered to meet the relevant policy criteria outlined within the National Planning Policy Framework, with particular focus on Section 12 regarding Conserving and Enhancing the Historic Environment and Policy SP12 (Heritage) of the Ryedale Plan - Local Plan Strategy. It is therefore recommended that listed building consent should be granted, subject to the following conditions.

RECOMMENDATION: Approval

- 1 The development hereby permitted shall be begun on or before .

Reason:- To ensure compliance with Section 18(1) of the Planning (Listed Buildings & Conservation Areas) Act 1990.

- 2 Notwithstanding the submitted details, prior to the commencement of the development hereby permitted, or such longer period as may be agreed in writing with the Local Planning Authority, details and samples of the materials to be used on the exterior of the building the subject of this permission shall be submitted to and approved in writing by the Local Planning Authority.

Reason: To ensure a satisfactory external appearance and to satisfy the requirements of Policies SP12, SP16 and SP20 of the Ryedale Plan - Local Plan Strategy.

- 3 Prior to the commencement of the development hereby permitted, the developer shall construct on site for the written approval of the Local Planning Authority, a one metre square free standing panel of the external walling to be used in the construction of building. The panel so constructed shall be retained only until the development has been completed.

Reason: To ensure a satisfactory external appearance and to satisfy the requirements of Policies SP12, SP16 and SP20 of the Ryedale Plan - Local Plan Strategy.

- 4 Notwithstanding the submitted details, prior to the commencement of the development hereby permitted, details of all external joinery, including windows, doors and garage doors, including means of opening, depth of reveal and external finish shall be submitted to and approved in writing by the Local Planning Authority. These shall be shown on a 1:10 scale drawing.

Reason: To ensure an appropriate appearance and to comply with the requirements of Policies SP12, SP16 and SP20 of the Ryedale Plan - Local Plan Strategy.

- 5 Notwithstanding the submitted details, prior to commencement of the development hereby permitted, the precise details of any mechanical extraction or ventilation shall be submitted to and approved in writing by the Local Planning Authority.

Reason: To ensure an appropriate appearance and to comply with the requirements of Policies SP12, SP16 and SP20 of the Ryedale Plan - Local Plan Strategy.

- 6 Notwithstanding the submitted details, prior to commencement of the development hereby permitted, the precise details of any external guttering shall be submitted to and approved in writing by the Local Planning Authority.

Reason: To ensure an appropriate appearance and to comply with the requirements of Policies SP12, SP16 and SP20 of the Ryedale Plan - Local Plan Strategy.

- 7 The development hereby permitted shall be carried out in accordance with the following approved plan(s):

Site Location Plan - dated 30.03.2017.

Proposed Extension - Plans Drawing No 180 816 3

Proposed Extension - Elevations Drawing No 180816 4.

Reason: For the avoidance of doubt and in the interests of proper planning.

Background Papers:

Adopted Ryedale Local Plan 2002

Local Plan Strategy 2013

National Planning Policy Framework

Responses from consultees and interested parties

Item Number: 13
Application No: 17/00507/FUL
Parish: Aislaby, Middleton & Wrelton Parish
Appn. Type: Full Application
Applicant: Mr & Mrs E Watson
Proposal: Erection of 12no. hot tub gazebos, siting of 2no. metal containers forming a biomass boiler and fuel store, siting of a two bedroom holiday lodge (cabin 10) to replace an existing caravan and siting of an additional two bedroom holiday lodge (cabin 9) - retrospective application
Location: Rocklands Cawthome Lane Wrelton Pickering North Yorkshire YO18 8HE

Registration Date:
8/13 Wk Expiry Date: 28 June 2017
Overall Expiry Date: 7 June 2017
Case Officer: Joshua Murphy **Ext:** 329

CONSULTATIONS:

Parish Council No comments to make

Neighbour responses: Mr & Mrs Clark,

SITE:

Rocklands Lodges is an established holiday complex located approximately 2 miles to the north of village of Wrelton. The site is also located within a locally designated Area of High Landscape Value.

PROPOSAL:

The application is retrospective. The proposal in question requires planning permission and the application was submitted following an enforcement enquiry. The proposal includes the erection of 12no. hot tub gazebos, siting of 2no. metal containers forming a biomass boiler and fuel store, siting of a two bedroom holiday lodge (cabin 10) to replace an existing caravan and siting of an additional two bedroom holiday lodge (cabin 9)

All of the above are already on the site. However, they were carried out at separate times. A planning statement has been submitted with the application and this is appended for members information.

HISTORY:

02/00225/FUL - Erection of six log cabins with associated parking and installation of sewage treatment plant - Approval

03/00963/FUL - Erection of holiday lodge with twelve self-catering rooms incorporating garage of existing dwelling and associated parking - Refused

04/00923/FUL - Erection of six log cabins with associated parking and installation of sewage treatment plant (revised details to approval 02/00225/FUL dated 05.06.2002) - Approved

07/00137/FUL - Erection of six log cabins forming twelve holiday letting units together with erection of information cabin and grill house, associated parking and installation of sewage treatment plant (part retrospective application - revised details to approval 04/00923/FUL dated 28/09/04) - Approval

08/01023/FUL - Erection of two log cabins with associated parking. - Approval

POLICY:

The Ryedale Plan - Local Plan Strategy (2013)

Policy SP8 Tourism
Policy SP12 Landscapes
Policy SP16 Design
Policy SP19 Presumption in Favour of Sustainable Development
Policy SP20 Generic Development Management Issues

National Planning Policy Framework (2012)

Chapter 7. Requiring good design
Chapter 12. Conserving and enhancing the historic environment

APPRAISAL:

The main considerations to be taken into account are:

- i) Principle of development
- ii) Landscape impact
- iii) Design
- iv) Neighbouring Impact

i) Principle of development

The NPPF supports local planning policies that support sustainable rural tourism and leisure developments that benefit the businesses in rural areas, communities and visitors and which respect the character of the countryside. This should include supporting the provision and expansion of tourist and visitor facilities in appropriate locations where identified needs are not met by existing facilities in rural service centres.

Policy SP8 (Tourism) of the Ryedale Plan - Local Plan Strategy states that tourism will be supported through the provision of a range and choice of quality tourist accommodation. In the wider open countryside, new static caravan and chalet self catering accommodation and extensions to existing facilities that can be accommodated without an unacceptable visual intrusion and impact on the character of the locality will be supported. All year round tourism is supported subject to the occupancy conditions set out within Policy SP21 (Occupancy Restrictions).

The site currently provides 12 units of tourist accommodation which included a mixture of fixed and movable buildings. The site also contains general amenity facilities including a shop and reception, as well as an opened grassed area located in the centre of the site. Planning permission has already been granted for 8no of the existing cabins and an existing caravan. The proposal seeks permission for the re-siting and replacement of a cabin (No10) and the addition of a new cabin (No9). The timber gazebos are also included, which cover the 12no of hot tubs on site adjacent to each cabin. The application also includes the erection of a new biomass boiler together with fuel store.

The Local Planning Authority has a requirement to ensure any new development is sustainable. The application proposals are linked to a well established tourism business. Policy SP8 (Tourism) of the Ryedale Local Plan Strategy states that, if appropriate, the expansion of existing holiday cottages or similar sites should be promoted.

In this instance the additional development is located within the boundaries of the existing site and the principle of the proposed development is therefore considered to be acceptable on its planning merits.

ii) Landscape impact

Policy SP 13 (Landscapes) states that development proposals should contribute to the protection and enhancement of distinctive elements of landscape character that are the result of historical and cultural influences, natural features and aesthetic qualities.

The site is located north of Wrelton with access provided via Cawthome Lane. The application site, along with Crook Farm are the only developments in the immediate locality. However, Rockland Lodges has a heavily tree lined boundary treatment. Very little of the site is visible from the public realm. The north side of the site has a 2 metre high boarded fence which runs along the boundary. The fence was erected by the occupiers of the neighbouring dwelling. However, the solid nature of the fence provides screening and helps protect the amenity and safety of the occupants and therefore is considered suitable.

The site is located within an Area of High Landscape Value and special regard is required to be given to any development within this local designated area. Policy SP 13 of the Ryedale Local Plan states that these areas help to reinforce landscape quality and local character. It is considered that the nature of the development is in keeping with the area and is located well within the established buildings of the existing site.

Therefore it is considered that the proposal does not give a material additional adverse effect upon the Fringe of the Moors Area of High Landscape Value

iii Design

The 2 no cabins included in the application are the same design and scale, which are the same as the existing cabins on site. These timber cabins are a typical design for a holiday facility of this nature. The cabins measure 12.3m in length by 5m in width, with an eaves height of 3.1m and a ridge height of 4m. They include a small covered patio area.

All of the cabins have gazebo covers, which are sited above all of the hot tubs to provide shelter and protection. 9 of the covers are identical in design and scale. They consist of a free standing timber frame and a small pitched roof, which measures 3.3m in height by 2.7m in width. Cover number 7 is a lean to design, attached to the gazebo. It is considered that the covers are well integrated with the cabins and are a design of structure often found on holiday sites.

The boiler and fuel store is surrounded by a 2.5m fence and positioned in the north west corner of the site.

It is considered that there are no objections to the proposed development in terms of the design approach. Take in this instance.

iv) Neighbouring Impact

Crook Farm is the nearest neighbouring dwelling located north west of the site, approximately 60m away. The occupants have lodged an objection to the proposal for the following reasons:

- The site is not screened well from the north.

From public vantage points the site is adequately well screened. From the north, the fence is visible but this also screens most of the site. Screening is not considered to be an issue sufficient to warrant refusal of the application.

- Position of Cabin 10 creates an adverse impact to the neighbouring occupier.

It is considered that cabin 10, which was previously a caravan, is repositioned in a more suitable location. The openings, patio area and hot tub are all now located facing the south, decreasing the risk of adverse impact.

- *Cabin 8 requires planning permission*

Cabin 8 was granted planning permission on 09/01/2009, application number 08/01023/FUL

- *The access to the biomass and fuel store uses neighbouring access*

This matter is considered to be a civil dispute, and is not directly relevant to its planning merits.

- *The hot tubs require planning permission*

The hot tubs included do not require planning permission. They are not fixed structures and are therefore not regarded as "development" within the meaning of development set out in The Planning Act.

It is also considered that many provisions have been taken to prevent adverse impact on the neighbouring dwelling. This includes the positioning of the cabins, the insulation in the walls of the gazebo covers and the boundary treatments. The Councils Environmental Health officer has confirmed that no complaints had been lodged against Rockland Lodges and would therefore not have any comments to make in respect of this application

It is therefore considered in terms of being overbearing in presence or loss of privacy, the proposal complies with Policy SP20 if the Ryedale Plan - Local Plan Strategy.

Wreton Parish Council has responded to the application with no objections to make.

RECOMMENDATION: Approval

1 The development hereby permitted shall be carried out in accordance with the following approved plan(s):

Proposed Plans - Drawing No: D4060036/07, D4060036/08, D4060036/09, D4060036/10 and D4060036/11

Site Layout Plan - Drawing No: D4060036/01 Rev C

Site Location Plan - Date Stamped 03/05/17

Design and Access Statement

Reason: For the avoidance of doubt and in the interests of proper planning.

Background Papers:

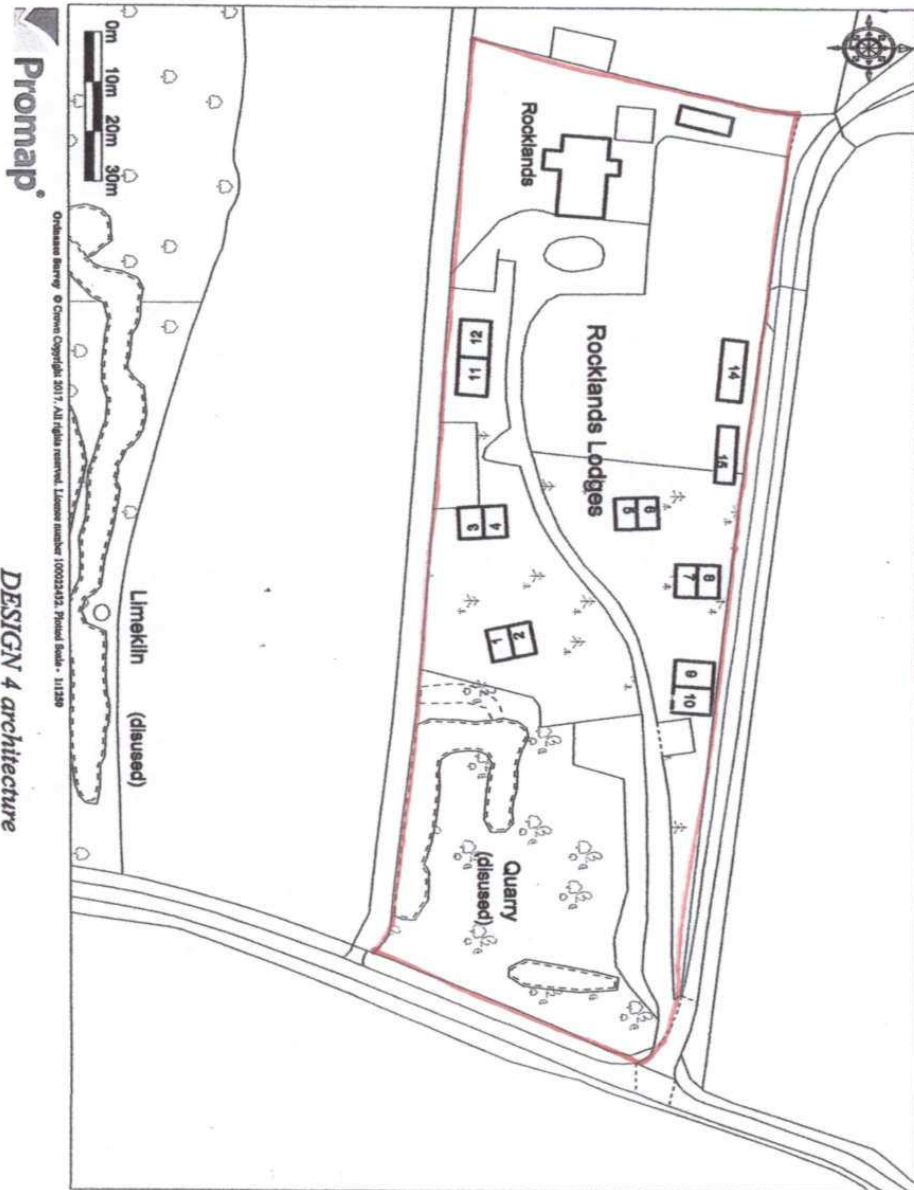
Adopted Ryedale Local Plan 2002

Local Plan Strategy 2013

National Planning Policy Framework

Responses from consultees and interested parties

Proposed Holiday Cabins
 Rocklands Lodges
 Cawthorne Lane
 Location Plan 1:1250



Promap

DESIGN 4 architecture

Ordnance Survey © Crown Copyright 2017. All rights reserved. Licence number 100029235. Product code - 11289

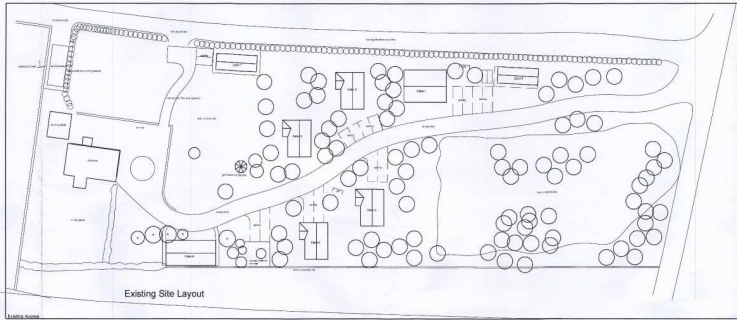
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A/00507/K
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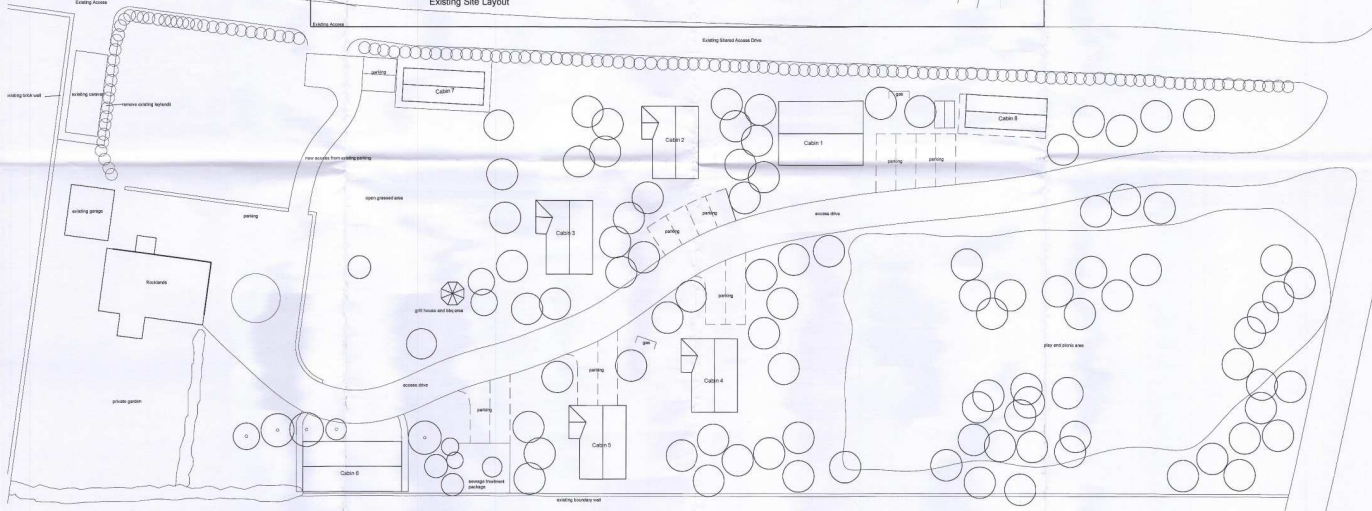
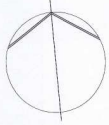
- 3 MAY 2017

DEVELOPMENT
 MANAGER

1. All dimensions are in meters unless otherwise stated.
 2. All dimensions are to the centerline of the road unless otherwise stated.
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Revisions	
Rev. No.	Date

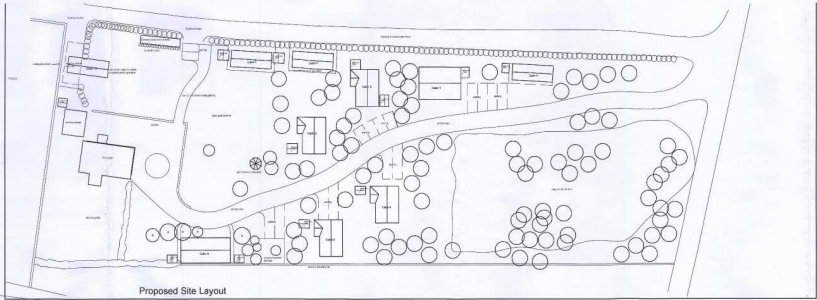


Existing Site Layout

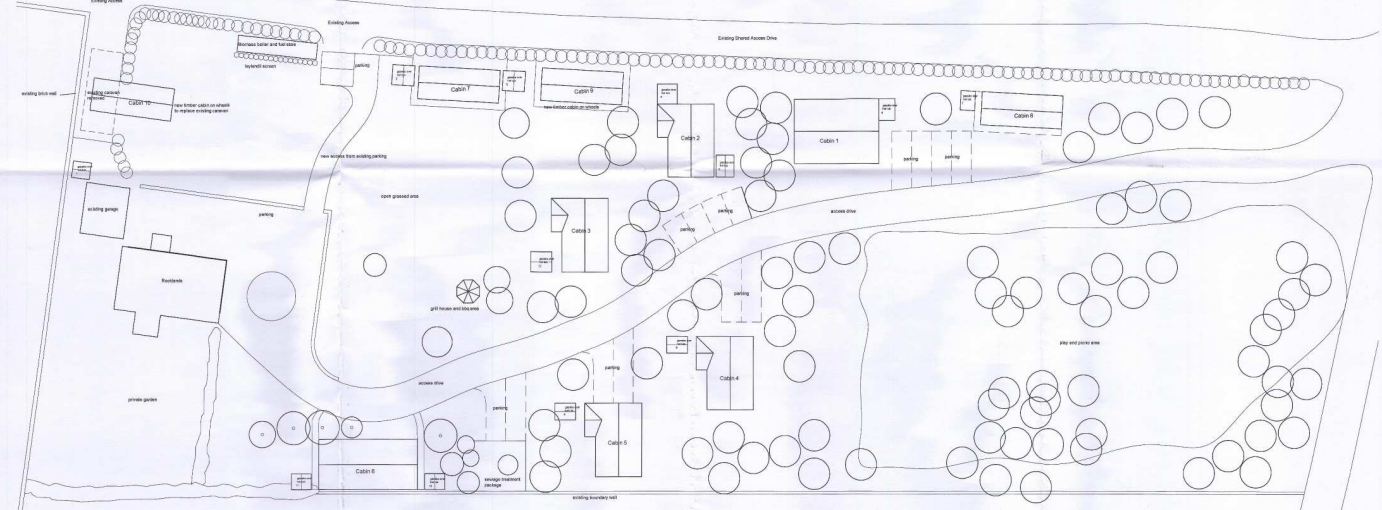
VEATM VISIONARY ENVIRONMENTAL ARCHITECTURE	Project	2 New Family Cabins	Client	Mr & Mrs. E. Thomas
	Location	Northwood, Cochrane City, Western Cape	Scale	1:500
	Drawing	Quality Site Layout	Number	00000001
	Phase	Planning	Date	January 2007
	Revision		Author	



1. All dimensions are in meters unless otherwise stated.
 2. All areas are in square meters unless otherwise stated.
 3. All areas are to be confirmed on site.
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Revisions	Date
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2. All areas are in square meters unless otherwise stated.	01/01/2022
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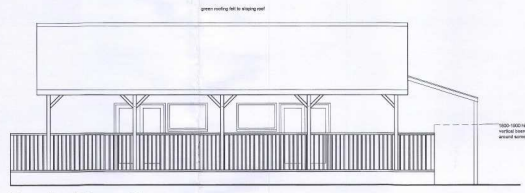


Proposed Site Layout

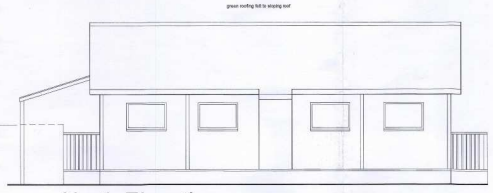
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Revisions	Number
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2. All areas are in square meters unless otherwise stated.	2
3. All areas are to be confirmed on site.	3
4. All areas are to be confirmed on site.	4
5. All areas are to be confirmed on site.	5
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10. All areas are to be confirmed on site.	10
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01/01/2022	01/01/2022



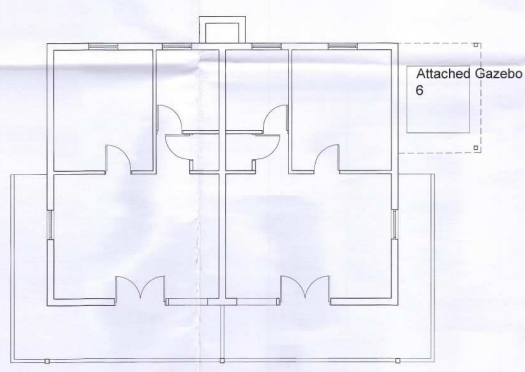
Title	
The drawings are the property of the Architect. They are not to be used for any other purpose without the written consent of the Architect. The Architect is not responsible for any errors or omissions in the drawings. The Architect is not responsible for any construction methods or materials used in the construction of the building. The Architect is not responsible for any damage to the building or its contents. The Architect is not responsible for any liability of any kind.	
Architect	Date
Mr. [Name]	2017



South Elevation



North Elevation



Ground Floor Plan



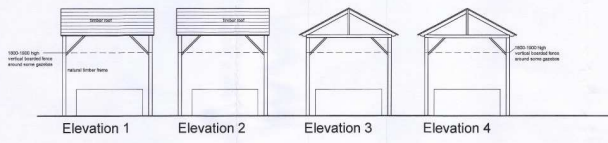
East Elevation

Attached Gazebo
6

ALL WORK TO BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND CONDITIONS OF THE CONTRACT. THE ARCHITECT IS NOT RESPONSIBLE FOR ANY CONSTRUCTION METHODS OR MATERIALS USED IN THE CONSTRUCTION OF THE BUILDING. THE ARCHITECT IS NOT RESPONSIBLE FOR ANY DAMAGE TO THE BUILDING OR ITS CONTENTS. THE ARCHITECT IS NOT RESPONSIBLE FOR ANY LIABILITY OF ANY KIND.

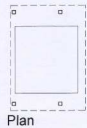
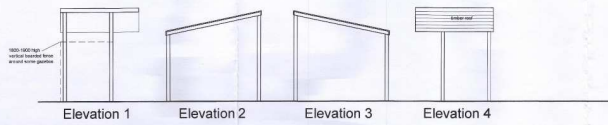
WEDALE DM ARCHITECTS 11/1002671 PL	Project	Frank's Cabin	Client	Mr & Mrs J. Wilson
	Location	Chesham, Bucks, UK	Scale	1:50
	Drawings	Architect's Drawing No. 1	Number	0000000
	Status	Planning	Date	April 2017





Free Standing Gazebos
1,2,3,5,8,9,10,11 & 12

Notes	
<p>1. This drawing is for information only. It is not to be used for construction without the approval of the architect. It is the responsibility of the contractor to ensure that the construction complies with the approved drawings and specifications. It is the responsibility of the contractor to ensure that the construction complies with the approved drawings and specifications. It is the responsibility of the contractor to ensure that the construction complies with the approved drawings and specifications.</p>	
Revisions	
No.	Date



Free Standing Gazebo
7

Handwritten notes in red ink, likely a revision or approval stamp, containing illegible text.

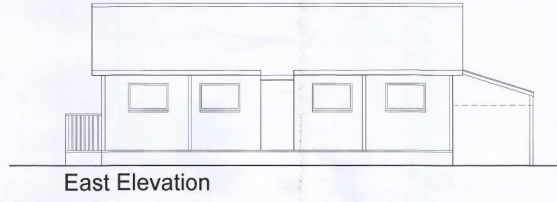
WEDALE DESIGN

Project Project Name: [illegible] Client: [illegible]	Client [illegible]
Drawing Free Standing Gazebo	Scale 1:50
Number [illegible]	Revision [illegible]
Date April 2017	DESIGN

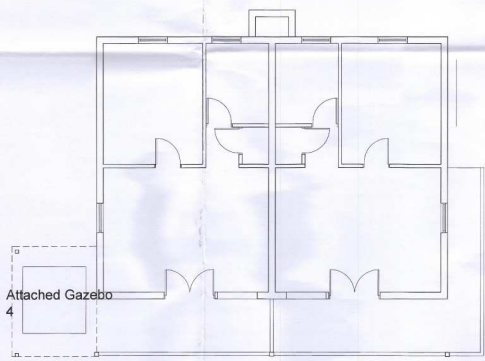
Notes This set of drawings is the property of the Designer and is not to be reproduced, copied, or transmitted in any form or by any means without the written consent of the Designer. The Designer shall not be held liable for any errors or omissions in these drawings. The Designer shall not be held liable for any damages, including consequential damages, arising from the use of these drawings. The Designer shall not be held liable for any delays or interruptions in the performance of its obligations under these drawings. The Designer shall not be held liable for any costs or expenses incurred by the Client in connection with the use of these drawings.	
Revisions	Date



West Elevation



East Elevation



Ground Floor Plan



North Elevation

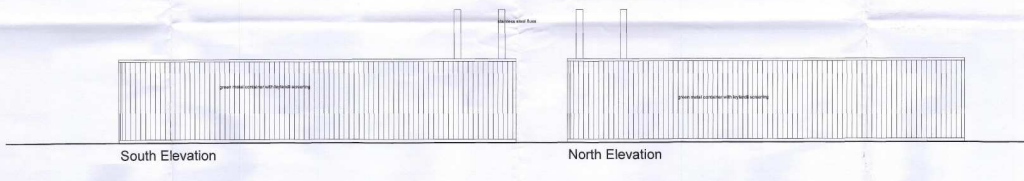
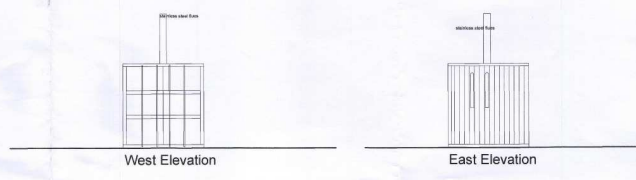
Attached Gazebo
4

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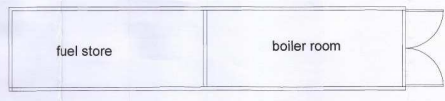
WEDALE DESIGN	Project	Front Porch	Client	
	Location	Front Porch, Cape Verde	Scale	1:50
	Drawings	Architectural No. 4	Number	00000000
	Phase	Planning	Revision	
	Date	April 2017	Designer	



Scale 1:100	
Revisions	
No.	Date



Boiler and Fuel Store



Plan

APPROVED FOR CONSTRUCTION
 DATE: 04/04/2017
 BY: [Signature]

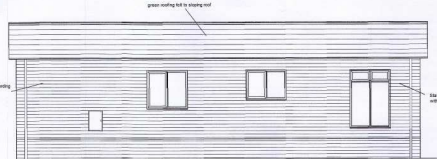
YEDAI P.M. ENGINEERING & CONSULTING

Project Industrial Estate, Kaduna State	Client Kaduna State
Working Boiler and Fuel Store	Scale 1:50
Number 00000010	Revision
Date April 2017	DESIGN

NOTES	
1. All elevations are shown in black lines. The color palette is shown in the color palette and is subject to change without notice. All elevations are shown in black lines and are subject to change without notice.	
REVISIONS	
NO. DATE	DATE



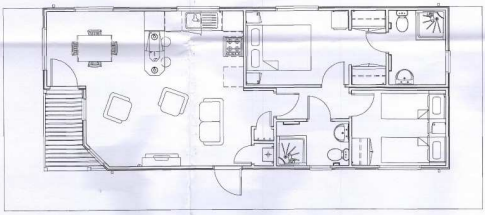
West Elevation
(Lounge End)



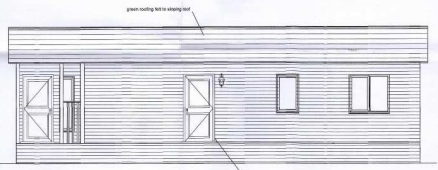
North Elevation



East Elevation
(Bedroom End)



Floor Plan
Cabin 9 & 10 on Wheels



South Elevation

DATE: 2017-04-04
 TIME: 10:00 AM
 PROJECT: Cabin 9 & 10 on Wheels
 DRAWING: ELEVATIONS
 DRAWN BY: [Name]
 CHECKED BY: [Name]

YEDALE FM ARCHITECTURE 1000 10th Street Victoria, BC V8W 2E1 TEL: 250-383-1111 WWW.YEDALEFM.COM	Project	Cabin 9 & 10 on Wheels	Client	2017-04-04	
	Drawing	Elevations	Scale	1:50	
Sheet	ELEVATIONS	Number	00000001	Revision	
Date	April 2017				



Item Number: 14
Application No: 16/01424/FUL
Parish: Rillington Parish Council
Appn. Type: Full Application
Applicant: Mr Stephen Hodgson
Proposal: Change of use of land and buildings to B1 (Business), B2 (General Industry) and B8 (Storage and Distribution) Uses and erection of fuel store, vehicle valet bay, disability toilet and site toilet (part retrospective application)
Location: Sledgate Garage Low Moor Lane Rillington Malton North Yorkshire YO17 8JU

Registration Date:
8/13 Wk Expiry Date: 14 April 2017
Overall Expiry Date: 4 October 2016
Case Officer: Helen Bloomer **Ext:** 328

CONSULTATIONS:

Parish Council	No views received to date
Highways North Yorkshire	Recommends condition
Environmental Health Officer	No views received to date
Network Rail	Request amended redline plan and conditions to be attached

Neighbour responses: Catherine Metham,

SITE:

The application site is located on the site of a former scrap yard and coal depot which is adjacent to the southern side of the railway line at Low Moor Lane Rillington approximately 700 metres to north of the built up area of the village. The access to the site is directly off Low Moor Lane to the south of Station House. The site is slightly irregular in shape with its longest side running adjacent to the main York to Scarborough railway line. The site varies in depth between 30 and 40 metres and contains a number of existing businesses. Several of these are the subject of the grant of earlier planning permissions which are detailed in the history section of this report below.

A row of eight terraced houses known as Railway Cottages are located to the north east of the site on the opposite side of the railway line. The cottages are approximately 70 metres away from the site at their nearest point.

PROPOSAL:

This application has been submitted in order to regularise those parts of the site which are not covered by the grant of earlier planning permissions or by the previous lawful use of the premises. The current application seeks permission for change of use of land and buildings to B1 business, B2 general industrial and B8 storage and distribution uses as well as the erection of a fuel store, vehicle valet bay and on site toilets part retrospective. Uses that are not currently covered by a permission include several external storage areas and a scaffolding business that is located at the eastern extremity of the site.

Arising from the consultation process it has become apparent that part of the application site remains in the ownership of Network Rail. Appropriate notice has been served on Network Rail and any final comments will be reported to Members either on the Late Pages or at Committee.

RELEVANT PLANNING HISTORY:

Change of use of scrap yard and coal depot to garage services including the repair, paint spraying and maintenance of motor vehicles, the standing and storage of motor vehicles awaiting inspection, repair or disposal, the dismantling of vehicles and sale of spare parts, the operation of a breakdown and recovery service , the sale of up to 50 vehicles a year and the erection of workshop Approved 30.10.1992

Erection of extension to workshop Approved 27.07.2004

Change of use of store to office and store Approved 11.02.2005

POLICY:

National Planning Policy

NPPF
NPPG

Local Planning Policy

Ryedale Plan - Local Plan Strategy

Policy SP 6 Delivery and Distribution of Employment Land
Policy SP 9 Land based Rural Economy
Policy SP 13 Landscapes
Policy SP 16 Design
Policy SP 20 Generic Development Management Issues

APPRAISAL:

The following matters are considered to be relevant to the consideration of this application:

Principle of the development;
Landscape impact;
Highway issues;
Residential amenity considerations;
Rail safety; and
Other matters

Principle of the development

The site has along established use for commercial activity previously associated with its use as a coal depot and formerly as a scrap yard. In more recent times activity associated with Sledgate Garage, the repair and recovery and sales of vehicles as taken place from the site which is well contained adjacent to the railway line . the site is set well back from the adjacent highway of Low Moor Lane and there is screening of most if the site from the adjacent railway line by earth banking.

The site has well defined boundaries and as existing contains a number of small scale businesses which are considered to be appropriate in their scale in this wider open countryside location. These businesses are considered to be relatively modest in their scale and in principle, given the previous commercial use of the site, there is considered to be no objection in principle to their retention and expansion subject to meeting the requirements of other policies listed below and the requirements of technical consultees.

Landscape impact

The site is located on the southern edge of the Vale of Pickering and is some kilometres to the north of the village. As mentioned above the site is well established locally in the landscape and benefits from well established boundaries. Some concern has been raised from one the residents of Station Cottages in relation to activities of the scaffold company located at the eastern end of the site. However these relate in the main to early morning hours of use and the impact of lighting on the site at hours of darkness which are visible above the top of the earth embankment. These amenity issues are discussed in more detail later in the report.

The site can only be seen at close quarters and it is not considered that there are any wider landscape impact issue arising from the development which mainly relates to change of use of land and buildings within the site. In these circumstances no objection is raised in relation to Policy SP 13.

Highway Considerations

NYCC Highways not the lawful use of the site associated with a 24 hour motor vehicle repair breakdown and recovery business. Subject to the parking spaces, turning areas and Access being kept available for their intended purpose no objection is raised on highway grounds. The highway considerations relating to Policy SP20 are considered to be satisfied if a condition is imposed as requested.

Residential Amenity Considerations

Whilst the site has a history of commercial use and benefits from the grant of planning permissions as listed earlier in this report it is necessary to consider the amenity impacts of the additional uses that comprise the current application and to assess their impacts in relation to adjacent residential properties. Aside from the entrance to the site itself the nearest residential properties are located on the opposite side of the railway line, around xx metres away. The site is relatively well screened along its northern boundary by an earth embankment. However the occupier of No.8 Station Cottages has raised an objection on grounds of noise and light pollution issues. The particular concern relates to early morning activity (sometimes as early as 6.30) and lighting and glare particularly in the winter months and hours of darkness. The concern appears to centre on the activity of the scaffolding business which is located at the eastern end of the site nearest to the dwellings in question.

The applicant's agent has submitted further information in relation to the range of activities on site and had suggested that the limitation of start times could address/mitigate the residential amenity concerns raised by the objector. The Council's Environmental Health Specialists have identified potential issues relating to noise because of the remote location of the site. Whilst the site is located next to a railway line that source of noise is intermittent and at early morning, early evenings and night time the ambient noise level is low. It has been recommended that start times are restricted to prevent activity on the scaffold yard site before eight am in the morning and after eight pm at night on week days. Weekend activity is proposed to be limited to eight am to one pm on Saturdays with no other weekend working permitted.

In terms of light pollution matters it is recommended that all light sources are cowled and/or screened to mitigate the impacts of glare from the site adversely impacting upon the residents of the adjacent Station Cottages. A condition is recommended if permission is granted to require the submission of a scheme within 1 month of the permission being issued with its implementation on site within a further month.

Subject to the imposition of appropriate conditions it is considered that the amenity impacts of the proposal are satisfactorily mitigated and the requirements of Policy SP20 are satisfied.

The objectors full response can be seen on the Council's website. Other concerns raised include highway matters and other potential future uses of the site and the fact that this is in part a retrospective application. The highway matters have already been addressed in this report above. Any future uses that require further planning permission would be assessed on their merits at the time. The fact that this is a partly retrospective application is not material to the consideration of the application.

Railway Safety Matters

Network Rail have responded and whilst raising no objection in principle to this type of development at this location currently are unable to support the application because they believe part of the application site is still owned by themselves and not the applicant. Members will be aware that an ownership issue is not necessarily a matter to concern the Local Planning Authority provided that the correct ownership certificates have been submitted and notice served on the owner. This has now been done and the further comments of Network Rail are awaited.

Network Rail have made a number of observations relating to surface water disposal, location of 'fail safe' activities, safety procedures in the vicinity of the crossing, and observation in relation to no further encroachment and maintenance of existing access to railway owned land.

Other issues

The Parish Council have not made any response to the consultation on this application.

Recommendation

Approval subject to the following conditions and the outstanding comments of Network Rail.

RECOMMENDATION: Approval

1 The development hereby permitted shall be begun on or before .

Reason:- To ensure compliance with Section 51 of the Planning and Compulsory Purchase Act 2004

2 Hours of limitation on operation of scaffolding business to be limited to 8am to 8pm Mondays to Fridays; 8am - 1pm Saturdays and No Sunday working.

3 Scheme of lighting to be submitted within 1 month of the decision and implementation within one further month. No other lighting on site unless otherwise agreed with the Local Planning Authority. Use to cease if details not submitted and agreed within the prescribed timescales.

4 The development hereby permitted shall be carried out in accordance with the following approved plan(s):.

Reason: For the avoidance of doubt and in the interests of proper planning.

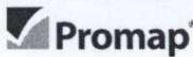
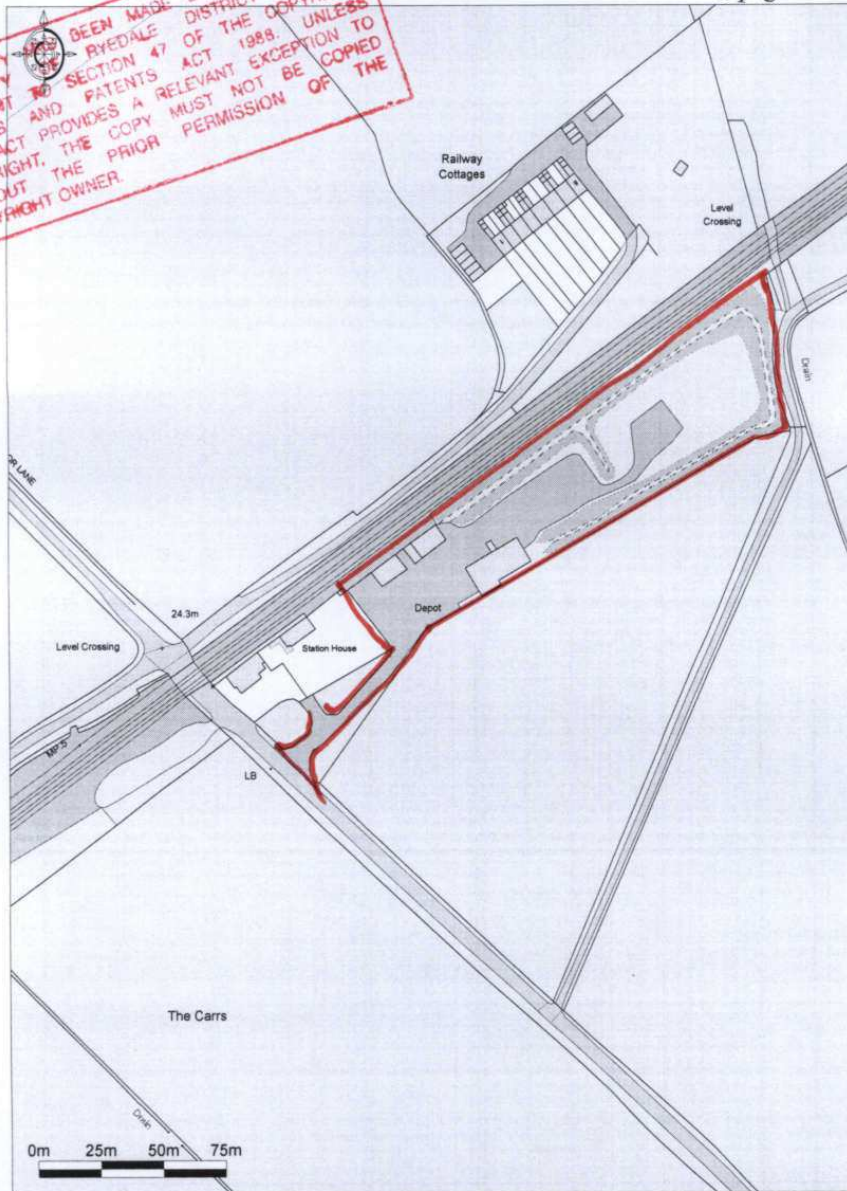
Background Papers:

Adopted Ryedale Local Plan 2002
Local Plan Strategy 2013
National Planning Policy Framework
Responses from consultees and interested parties

Land at Sledgate Garage
Low Moor Lane
Rillington



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RYEDALE DM

29 AUG 2016

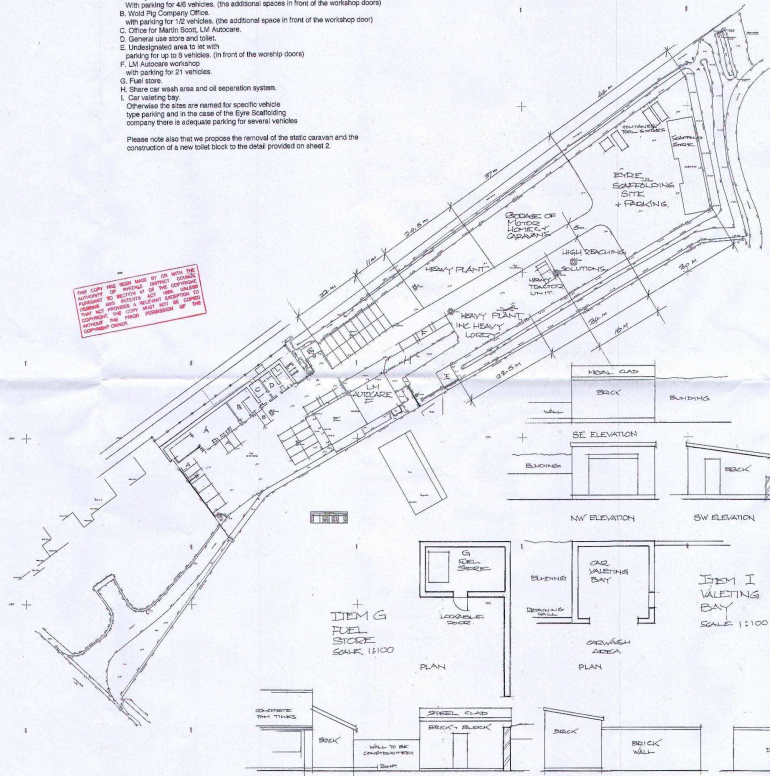
DEVELOPMENT
MANAGEMENT

16/01424/FUL

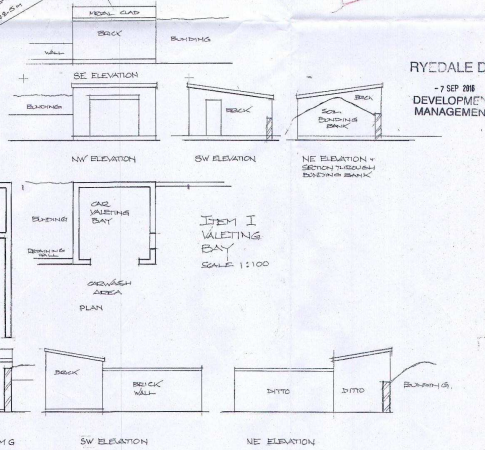


- Key
- A. Jimmy Gardner, Vehicle Body Repair Workshop
 - B. With parking for 400 vehicles. (the additional spaces in front of the workshop doors)
 - C. Wood Fry, Company Office.
 - D. Office for Martin Scott, LHM Autocare.
 - E. General use store and toilet.
 - F. Undergarment area to be with parking for up to 8 vehicles. (in front of the workshop doors)
 - G. LHM Autocare workshop with parking for 21 vehicles.
 - H. Fuel store.
 - I. Share car wash area and oil separation system.
 - J. Car waiting bay.
- Otherwise the sites are named for specific vehicle type parking and in the case of the Eye Scaffold company there is adequate parking for several vehicles
- Please note also that we propose the removal of the static caravan and the construction of a new static block to the detail provided on sheet 2.

THE LHM AND WOOD FRY ARE TO BE WITH THE REMOVAL OF THE STATIC CARAVAN AND THE CONSTRUCTION OF A NEW STATIC BLOCK TO THE DETAIL PROVIDED ON SHEET 2.



REVISED PLAN



Topographical Survey Layer	
1	Spot Height
2	Contour
3	Spot Height
4	Contour
5	Spot Height
6	Contour
7	Spot Height
8	Contour
9	Spot Height
10	Contour
11	Spot Height
12	Contour
13	Spot Height
14	Contour
15	Spot Height
16	Contour
17	Spot Height
18	Contour
19	Spot Height
20	Contour

RYSDALE DM
- 7 SEP 2008
DEVELOPMENT
MANAGEMENT

**Station
Yard**

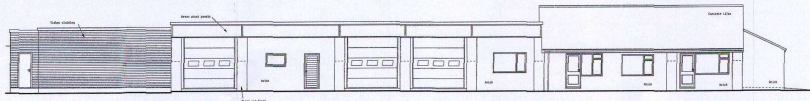
Low Moor Lane
Rillington
YO17 8JU

for Mr Stephen Hodgson

Scale 1:500
and 1:100

23/08/16

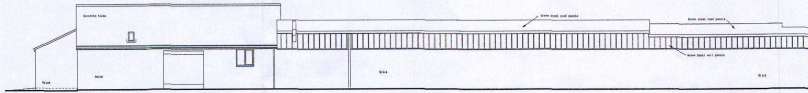
Topographical Survey - Sheet 3 Stephen George, Low Moor Lane Rillington, Wetherby, YO17 8JU			
M. S. Hodgson			
DATE	BY	NO.	SCALE
23/08/16	MSH	3	1:500 (S.A.)



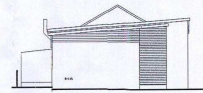
SOUTH ELEVATION



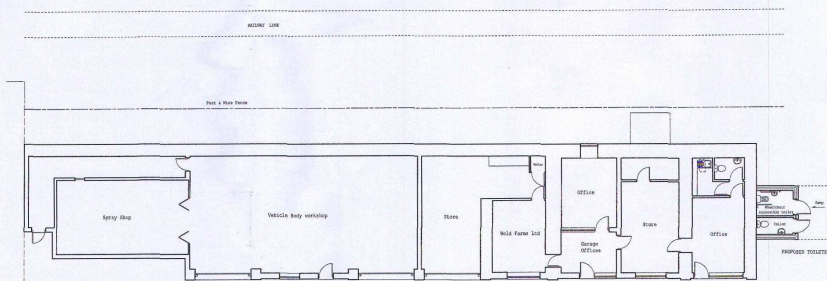
EAST ELEVATION



NORTH ELEVATION



WEST ELEVATION



FLOOR PLAN



Station Yard
 Low Moor Lane
 Rillington
 YO17 8JU
 Car Body Repair
 Shop
 &
 Office Area
 For Mr Stephen Hodgson
 Scale 1:100
 25/08/16

RYEDALE DM
 25 AUG 2016
 DEVELOPMENT
 PLANNING

Helen Bloomer,
Development Management Officer,
Ryedale District Council,
Ryedale House,
Malton, YO17 7HH.

26/08/16

Dear Helen,

RYEDALE DM

29 AUG 2016

DR
M...



14/01/424/PUL
JOHN PAUL
ARCHITECTURAL
DESIGNER

Planning Applications
New House Design
Exhibition

Reference Case No 15/00088/CU. Sledgate Garage, Station Yard, Low Moor Lane, Rillington, Malton YO17 8JU

While the untimely death of Lee Hodgson in the prime of life is no excuse for the unresolved issues which have now come to light, it is now his father who must seek to resolve the several outstanding items. Mr Stephen Hodgson was not a partner with Mr Lee Hodgson but ran his own business only using Lees skill to service his vehicles.

Now the full picture has been made clear Mr S. Hodgson wishes to bring about a happy conclusion by seeking to regularise the several outstanding issues by submitting a planning application which deals with everything. Clearly this is a difficult task as no planning application form deals clearly with such a range of items. I summarise these as follows :-

1. Approval of the use of one office and a workshop as a letting unit. Let to Wold Pig Company.
2. The approval of part of the site as a storage area let to Eyre Scaffolding Company.
3. Approval of a site to park and store high lift equipment let to High Reaching Solutions.
4. Approval to park one heavy goods tractor vehicle belonging to Mr S Hodgson.
5. Approval for Mr S Hodgson to park and store his heavy lifting and earth moving equipment.
6. Change of Use and conversion of the buildings to the left of the approved office and toilet to form a specialist vehicle repair workshop let to Jimmy Gardner, Vehicle Body Repairs.
7. Approval of the new build fuel store and vehicle valet bay. (Retrospective)
8. Planning approval to provide a disability toilet and site user toilet with washbasin connected to existing septic tank. (Disposal of static caravan) (new application)

2 Ripley Close
Kirkbymoorside
York YO62 6BS
T: 01751 431793
E: john.paul440@btinternet.com

Continuation.

In the three planning approvals to hand there is no mention of limiting working hours, nor the need to provide an oil trap, toilets for employees or on site workers, and no mention of safe fuel storage. Drainage of surface water on the site has been achieved by the installation of a large collecting chamber with high capacity pump lifting water to a local ditch. With the exception of an accessible disability toilet all these essential items have already been installed and the appearance of the site is very tidy and well kept, much more so than had the use been as originally approved, that of a breakers yard with vehicles stacked three metres high. The groomed appearance of the cut turf embankment is a very pleasing feature and as the ground surfaces, already stone dressed, are gradually improved the area will become almost a tourist attraction.

With regard to the scaffold storage site it should be noted that the area where localised noise may occasionally be generated, during loading and unloading of steel scaffold tubes, the nearest private dwelling is 100 metres away and is already protected and visually hidden, and to an extent protected from sound transmission, by the substantial earth banking.

This business and that of the existing motor repair workshop and body repair workshop have been in existence in their present form in excess of two years and all have tenancy agreement formally agreed with Mr Lee Hodgson and now with Mr S Hodgson.

I have suggested that the working day may be confined to 7.30am to 7.30pm although two proprietors have expressed the wish to work longer hours from time to time. Generally most will work between 8.30am and 5.30pm. All will provide domestic type waste bins but any items of scrap metal will be delivered directly to an accredited refuse site.

Two proprietors have expressed the opinion that the site has not experienced any restriction on working hours.

Please examine the enclosed and let me know if further information or evidence is required.

Yours sincerely,

John.

16/01/24/FUL

RYEDALE DN



JOHN PAUL
ARCHITECTURAL
DESIGNER

29 AUG 2016

PLANNING
MANAGEMENT

Planning Applications
New House Designs
Extensions

Mr Jimmy Gardner,
Vehicle Body Repairs,
Sledgate Garage,
Low Moor Lane,
Rillington,
Malton.

24/08/16.

Dear Jimmy,

Stephen Hodgson has given me the task of regularising the planning situation **with regard to the new** uses on the Sledgate site. The planning Authority require to know how the **individual businesses** operate on the site, what parking they require and what days of the week and **hours each day they** intend to work.

I think the hours should be the same for every one. Perhaps between **0730 hours to 1930 hrs** but of course you and others may work well within that period.

Please write an outline of your intended mode of **operation and let me have it as soon as possible** because the planning application has to be with Helen Bloomer before the end of August.

My sincere thanks for your assistance,

Jimmy Gardner 24/08/16

Sole Trader. Vehicle repair of damaged **bodywork**.

No intention to employ labour. Jimmy has **worked at Sledgate Garage for four years** for Lee Hodgson as a freelance bodywork repairer before **moving into these premises, converted by Lee just before his** sudden death.

Jimmy works from 8.30 am to 6.30 pm **weekdays and sometimes on Saturday mornings** but on occasion, to complete a job, he will work until **11.30 pm**

Written from Jimmy's notes.

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Kirkbymoorside
York YO62 6BS
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E: john.paul440@btinternet.com



JOHN PAUL
ARCHITECTURAL
DESIGNER

Planning Applications
New House Designs
Extensions

Martin, *Scott*
L. M. Autocare,
Sledgate Garage,
Low Moor Lane,
Rillington,
Malton.

24/08/16.

Dear Martin,

Stephen Hodgson has given me the task of regularising the planning situation with regard to the new uses on the Sledgate site. The planning Authority require to know how the **individual businesses** operate on the site, what parking they require and what days of the week and hours each day they intend to work.

I think the hours should be the same for every one. Perhaps between 0730 hours to 1930 hrs but of course you and others may work well within that period. You will see on the plan that I have provided the parking spaces we discussed but we'll have a chat about that before the application is submitted.

Please write an outline of your intended mode of operation and let me have it as soon as possible because the planning application has to be with Planning Officer, Helen Bloomer, before the end of August.

My sincere thanks for your assistance,

Martin Scott, LM Autocare. 24/08/16

Martin has worked for Mr Lee Hodgson as an **employee at Eastgate Garage for several years** but after moving to Sledgate Garage he became a **partner, just before the unfortunate bereavement**, and so is now a Sole Trader motor mechanic working **regularly 8.30 am to 7.30 pm and occasionally until 11.00 pm**. Martin is working hard to grow his **business to be able to employ staff currently employed on a freelance basis**.

Written from Martin's notes.

2 Ripley Close
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York YO62 6BS
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E: john.paul440@btinternet.com



JOHN PAUL
ARCHITECTURAL
DESIGNER

Planning Applications
New House Designs
Extensions

E

Ayre Scaffolding,
Sledgate Garage,
Low Moor Lane,
Rillington,
Malton.

24/08/16.

Dear Scaffolder,

Stephen Hodgson has given me the task of regularising the planning situation with regard to the new uses on the Sledgate site. The planning Authority require to know how the individual businesses operate on the site, what parking they require and what days of the week and hours each day they intend to work. I have your site dimensions and they are applied to the site plan showing adequate parking.

I think the hours should be the same for every one. Perhaps between 0730 hours to 1930 hrs but of course you and others may work well within that period. In your case you may plan to load the night before to avoid early morning noise but may wish to reach a building site by 0800 hrs so starting at 0730 hrs.

Please write an outline of your intended mode of operation and let me have it as soon as possible because the planning application has to be with Planning Officer, Helen Bloomer, before the end of August.

My sincere thanks for your assistance,

E

Ayre Scaffolding.

I have today spoken with the yard manager and understand that the Proprietor manager has agreed with the suggestions in the letter regarding operating time although they have previously started work at 7.00 am.

25/08/16.

JP.

2 Ripley Close
Kirkbymoorside
York YO62 6BS
T: 01751 431793
E: john.paul440@btinternet.com



Planning Applications
New House Designs
Extensions

Wold Pigs,
Station Yard,
Low Moor Lane,
Rillington,
Malton.
YO17 8JU

24/08/16.

Dear Sir,

Stephen Hodgson has given me the task of regularising the planning situation **with regard to the new uses on the Sledgate site**. The planning Authority require to know how the **individual businesses operate on the site, what parking they require and what days of the week and hours each day they intend to work**.

I think the hours should be the same for every one. Perhaps between **0730 hours to 1930 hrs but of course you and others may work well within that period**. You will see on **the plan that I have provided a parking space outside your office and of course there is another outside the workshop**. Please write an outline of your intended mode of operation and let me have it as soon as possible because the planning application has to be with Planning Officer, Helen Bloomer, before the end of August.

My sincere thanks for your assistance,

No reply as yet but the office seems to be used **very occasionally and by different members of the Wold Pigs company, usually well within the working day**. I will pass on **any response I receive**.

JP.

2 Ripley Close
Kirkbymoorside
York YO62 6BS
T: 01751 431793
E: john.paul440@btinternet.com



EYRE SCAFFOLDING. NOTE PROTECTIVE BONDING EMBANKMENT.



DITTO

RYEDALE DM

29 AUG 2016

DEVELOPMENT

RYEDALE DM

16/01424/AUL



PARKING FOR LMAUTOCARE MR MARTIN SCOTT.



CARAVAN + MOTORHOME PARKING
RYEDALE DM

29 AUG 2016

16/01424/FUL

MANAGEMENT



OFFICE CONVERSION TO PREVIOUS
CHANGE OF USE APPROVAL, AUTOGADE
OFFICE + TOILET.



GENERAL VIEW OF IMPROVEMENTS A B C + D
RYEDALE DM

29 AUG 2016

DEVELOPMENT
MANAGEMENT

16/01424/FUL



CONTAINER W/SHOPS → TOOL STORES
EYRE SCAFFOLDING



DITTO FURTHER VIEW.

RYEDALE DM

29 AUG 2016

DEVELOPMENT
MANAGEMENT

16/a 424/fu



MACHINES FOR HIRE MR S. HODGSON.



HIGH REACH SOLUTIONS MR SIMONE WAKEFORD.
RYEDALE DM

29 AUG 2016

DEVELOPMENT
MANAGEMENT 16/01424/FUL



OLD COAL BUNKERS CONVERTED INTO
CAR BODY REPAIR SHOP MR J GARDNER
AND WOLD DIGS OFFICE AND WORKSHOP.



REAR OF THE ABOVE PREMISES,

RYEDALE DM

29 AUG 2016

DEVELOPMENT
MANAGEMENT

16/01424/KUL



UNIT 'E' PRESENTLY UNLET.



THE FUEL STORE (DIESEL) ITEM 'G'
RYEDALE DM

29 AUG 2016

DEVELOPMENT
MANAGEMENT

16/01424/RZ



THE VALETING BAY ITEM 'I'



HEAVY LOBBY TRACTOR UNIT.
RYEDALE DM (MR S. HODGSON)

29 AUG 2016

DEVELOPMENT
MANAGEMENT

16/01+24/WL

RYEDALE DISTRICT COUNCIL



JOHN PAUL
ARCHITECTURAL
DESIGNER

11 NOV 2016

DEVELOPMENT
MANAGEMENT

Planning Applications
New House Designs
Extensions

Mr Gary Housden,
Chief Planning Officer,
Ryedale District Council,
Ryedale House,
Malton,
YO17 7HH.
10/11/16

Dear Mr Housden,

I'm sure you will appreciate that I am surprised that the contents of this long letter of objection to my clients retrospective planning application 16/01424/FUL have not been revealed or discussed with me during the period since receipt by you on the 3rd October 2016.

I have not had time to discuss the details with Mr Stephen Hodgson but I am sure he will be willing to agree to mitigate some of the objections raised by Catherine Metham and that they may be included in the approval in the form of 'conditions'.

These may refer to start time in the case of the scaffolding company although this has already been addressed in the suggestion that start time should not be earlier than 7.30am. To suggest loading before the end of the working day may not be practical but I'm sure if the approval were in question Mr Hodgson would approve.

Similarly if the lighting positions were changed I'm sure light penetration into the neighbouring properties could be much reduced particularly if the lights were pointing to the south. As to the scaffold shelters constructed to provide some weather protection for the scaffolding company employees and the materials this would seem a small point which is concerning the very low visual impact above the height of the bund particularly remembering that this has always been an industrial site since the railway and coal yard were built.

I believe that the storage and distribution aspect of the complaint only applies to the scaffolding company and is not a requirement otherwise except in the storage of vehicles as detailed in the application. Please correct me if I am wrong.

Therefore, subject to the approval of Mr Hodgson, who by the way is regularly on site and willing to talk to any of his several neighbours, I believe that 'conditions' covering the above would be acceptable and willingly applied to the site and its tenants.

I enclose copies sent to Mr Hodgson. When these matters have been agreed and the planning application approved, copies of drawings, the approval and conditions, will be sent to all parties using the site.

Yours sincerely,

2 Ripley Close
Kirkbymoorside
York YO62 6BS
T: 01751 431793
E: john.paul440@btinternet.com

Item Number: 15
Application No: 16/01640/FUL
Parish: Malton Town Council
Appn. Type: Full Application
Applicant: Hydramotion Ltd (Mr John Gallagher)
Proposal: Erection of a two storey linking extension for office and storage use, replacement of metal cladding on Unit 1 and sections of Unit 3 with a composite panel on the roof and walls to include 10no. rooflights to Unit 1, replacement of existing windows and installation of additional windows to Unit 1
Location: Hydramotion Ltd 1A - 1B Seven Street Malton North Yorkshire YO17 6YA

Registration Date:
8/13 Wk Expiry Date: 5 December 2016
Overall Expiry Date: 25 April 2017
Case Officer: Alan Hunter **Ext:** Ext 276

CONSULTATIONS:

Tree & Landscape Officer	Object
Parish Council	No objection
Countryside Officer	Concerns relating to the existing tree belt
Highways North Yorkshire	Requires further information
Neighbouring Parish Council	No objection
Tree & Landscape Officer	Concerns
Parish Council	Support
Highways North Yorkshire	Object
Highways North Yorkshire	Concerns
Neighbouring Parish Council	No views received to date

Neighbour responses: None

SITE:

The application site comprises Units 1 and 3B, Seven Street, Malton. The site is located within the development limit of Malton on the York Road Industrial Estate, a designated Employment Site. To the northern side of the application site are existing trees planted within the limits of the highway boundary. The Units gain their access from Seven Street with an adopted turning head between the units. York Road runs along the northern boundary of the application site. Off street parking is provided in front of the units.

PROPOSAL:

Planning permission is sought for the erection of a two storey linking extension for office and storage use, replacement of metal cladding on Unit 1 and sections of Unit 3 with a composite panel on the roof and walls to include 10 no. rooflights to Unit 1, replacement of existing windows and installation of additional windows to Unit 1.

The re-cladding of the existing building will replace the current brown cladding with a Silver metallic composite sheeting under moonstone coloured roof sheeting.

The new and existing windows are proposed to be replaced in UPVc.

The proposed extension will measure 20.8m in width by 8.75m in depth and is 5.8m to the eaves height and 7.3m to the mono pitch roof height. It is also proposed to clad the new extension in silver metallic composite sheeting under a moonstone coloured roof sheeting, with a merlin grey trim.

HISTORY:

2013: Planning permission approved for the erection of a first floor extension to form additional office area and replacement of existing ground floor windows

2004: Planning permission granted for the erection of a portable building for storage

1985: Planning permission granted for the construction of 2 industrial blocks consisting of 5 factory units, with provision of car parking. And LPG storage tanks and landscaping

POLICY:

National Policy

NPPF - 2012

NPPG- 2014

Local Plan Strategy

Policy SP6 - Delivery and Distributing of Employment Land and Premises

Policy SP9 - The Land- Based and Rural Economy

Policy SP13 - Landscapes

Policy SP16 - Design

Policy SP19 - Presumption in favour of sustainable development

Policy SP20 - Generic Development Management Issues

APPRAISAL:

The main considerations in relation to this application are:

- The siting, scale and design of the proposed extension;
- The impact of the proposal upon the visual amenity of the area;
- Highway safety and parking provision;
- The impact of the proposed development upon existing trees on the site.

This application is referred to the Planning Committee because Huttons Ambos Parish Council has supported the application, and because the proposal relates to the expansion of an existing business on the estate.

Hydramotion operates from Unit 1 and Unit 3a Seven Street. It is understood that the company designs and manufactures products that measure viscosity in liquids. It is understood the business exports to 53 countries and wishes to improve the appearance of its business premises. The extension is required for office and storage space and to allow a re-configuration of the internal areas.

Policy SP16 and Policy SP20 of the Local Plan Strategy require the design of new development to relate well to existing buildings and not to adversely affect the character and appearance of the area. The existing units on Seven Street have a strong building line fronting York Road, with a 3m separation between the buildings and the highway verge. The buildings were all originally single storey.

An extension at the eastern side of the application site also on Seven Street was allowed on appeal in 2003 for a 2 - storey side extension with a 0.4m projection beyond the building line fronting York Road. It was considered that the extension did not relate well to the existing building and would that it would be harmful to the character and appearance of the area.

The current proposal is to extend approximately 3 metres further forward of the building line and be built directly on the boundary to the highway verge. Furthermore, the proposal is to be 2-storey and it features an unusual asymmetrical roof design which is not a characteristic of the existing buildings on site. On the southern side, extensive glazing is proposed, with 3 ground and first floor windows on the northern elevation. The existing buildings on Seven Street have pitched roofs with relatively shallow pitches. The siting of the dwelling is considered to be completely at odds with the other buildings on Seven Street and other buildings along York Road. Its design and mono-pitch roof will also accentuate this poor siting. It results in an extension which is considerably higher at eaves and ridge height than the existing building and much closer to York Road than the existing buildings. The design approach does not successfully unite the two buildings and in the opinion of officers does not result in an acceptable design solution. If the proposed extension respected the existing building line together with a more sympathetic design approach Officers could have been able to support the application.

Discussions have been held with both the agent and the applicant in an attempt to achieve an acceptable solution. However, as submitted, the extension by virtue of its siting, scale and design is considered to have a poor relationship to the existing buildings and to adversely affect the character and appearance of the area and to conflict with Policy SP16 and Policy SP20 of the Local Plan Strategy. In addition, the proposed extension will easily be seen from York Road on the entrance to Malton, and it is likely to result in the long-term loss of the existing tree planting along the northern boundary within the highway verge.

The Case Officer, the External Partnership Lead and the Head of Planning have had meetings with the applicant to try and resolve the issues relating to this proposal. Advice has been offered regarding the potential re-location of the business to a larger alternative site. Advice has also been offered, along with suggestions in respect of the re-siting and re-design the proposed extension. The applicant, however, has advised that he does not wish to amend the proposals and has requested that a decision is made on this scheme as submitted.

There are considered to be no objection to the replacement windows, re-cladding or proposed rooflights in the existing building.

There are several mature trees that are located within the highway verge along the northern boundary of the site. The proposed extension is immediately adjacent to these trees. At the request of the Tree and Landscape Officer a Tree Survey has been requested. The survey confirms the removal of 2 no. Robina trees is required if the application is approved in its submitted form.. However, the Council's Countryside Management Officer has concluded that the survey is inadequate as it does not confirm what the impact of the proposals will be upon the long-term retention of the other trees. The Countryside Management Officer is of the view this proposal is likely to have a detrimental impact upon the trees which are considered to be important from a visual amenity perspective adjacent to York Road which is one of the main roads in and out of the town.

Discussions have taken place between the Highway Authority and the applicant regarding amendments to the adopted cul-de-sac. In their consultation response to the planning application, Mr Stephen Boyne of the Highway Authority has stated:

I would place on record that John Putsey was looking at the site purely in relation to the possibilities of stopping-up a section of highway in order to facilitate the development. John has not been involved in the planning application for consultation and would not have been aware of the staffing increase and lack of on-site parking which I, as formal consultee on behalf of the highway authority, had previously raised in my responses dated 2 November 2016 and 21 April 2017. I would ask that members are made aware of highway authority concerns regarding the lack of parking on site and the increase in staffing numbers. The latest NYCC parking standards only relate to an absolute requirement of operational parking (for Business and Industrial Use classes), and the extension, in itself, would not generate any additional requirement other than that which is already in place. However, non-operational parking needs to be taken into consideration on a site-by-site basis, under the broad remit of the NPPF. The location is on the periphery of Malton and close to a regular bus route; walking and cycling modes therefore could reasonably be expected to a certain degree, but conversely the estate in general has existing problems with on-street parking which has resulted in no-waiting restrictions, and latterly 'no parking' cones being put in place at various locations. With the increase in staffing numbers the development can only be seen in a positive light if some element of additional on-site parking for non-operational use can be included OR the developer is willing to sign up to fully engage a meaningful and deliverable travel plan, which can reduce reliance on private car use. At the moment the scheme results in a net loss of two spaces and an increase in 15 staff, and therefore if implemented would likely put extra pressure on parking. Consequently it cannot be supported by the highway authority. The cycle parking should also be re-evaluated as per point 3 of my latest consultation.'

The comments of the Highway Authority have been forwarded to the agent, and additional information has been requested. No response has been received. Based on the lack of information addressing the increased requirement for on-site parking the proposal is considered to be inadequate.

Huttons Ambos PC originally supported the proposal, and stated they have no further comments to make when re-consulted. Malton Town Council has no objection to the proposal.

The requirements of the business to expand are clearly understood, and Officers have tried on more than one occasion to help find a solution for the applicant. However, the applicant has requested that this scheme be determined in its current form. Officers are supportive in principle of the business requirements and consider an alternative design may be achievable that can address the design and tree-related objections detailed above. In the absence of any agreement however the recommendation on this application is one of refusal for the following reasons.

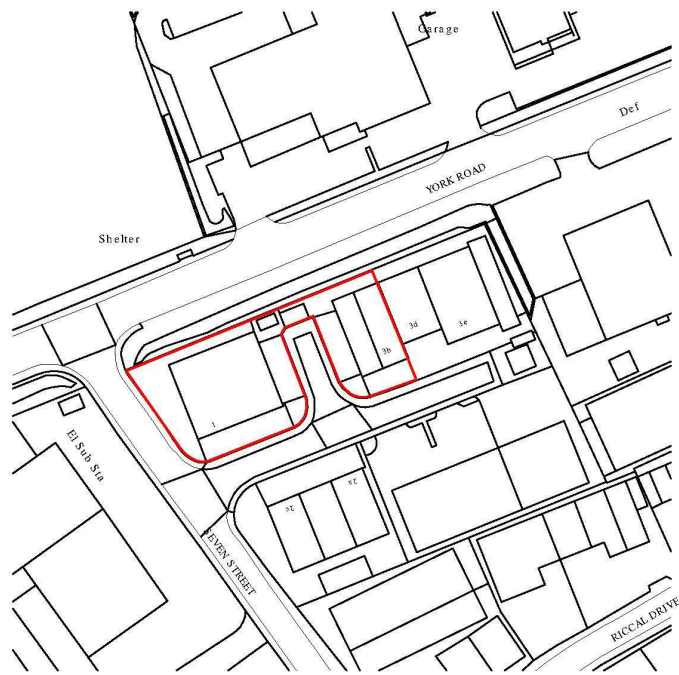
RECOMMENDATION: Refusal

- 1 The proposed extension by virtue of its siting, scale and design is considered to have a poor relationship with the existing business units and that it would adversely affect the visual amenities of the area. The proposed development is therefore considered to be contrary to the requirements of the NPPF and Policies SP16 and SP20 of the adopted Ryedale Plan - Local Plan Strategy.
- 2 There is insufficient information submitted to demonstrate that the proposed development will not have an adverse effect upon the long term health and retention of the existing trees that are immediately adjacent to the northern boundary and which form an important visual amenity adjacent to York Road, one of the main approach roads to Malton. The proposal is therefore considered to be contrary to the requirements of Policy SP20 of the adopted Ryedale Plan - Local Plan Strategy.

- 3 There is insufficient information submitted to demonstrate how the additional parking provision that is necessary to serve the proposed development can be satisfactorily met on site. The lack of off road parking would be likely to result in additional pressure for on-street parking in a locality which already exhibits high levels of on-street parking on a busy industrial estate. The application as submitted is therefore considered to be contrary to the requirements of Policy SP20 of the adopted Ryedale Plan - Local Plan Strategy.

Background Papers:

Adopted Ryedale Local Plan 2002
Local Plan Strategy 2013
National Planning Policy Framework
Responses from consultees and interested parties



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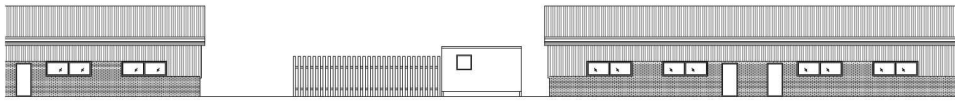
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Total Project & Construction Solutions

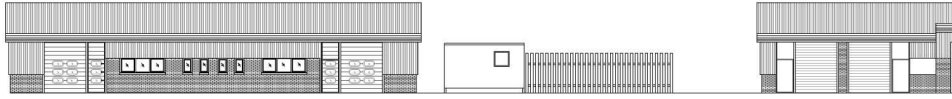
Gravica Limited
 Unit 385 Clifford House
 7 - 9 Clifford Street
 York
 YO1 9RA
 info@gravica.co.uk
 01904 236 306
 www.gravica.co.uk

Project	Hydramotion Ltd Link Building	Number: 16cm 566.102
Section	Proposed Link Building	Page:
Item	Location Plan	Date: Sep Sep
		Rev: - -
		Project Supervisor: Daniel Wilkinson

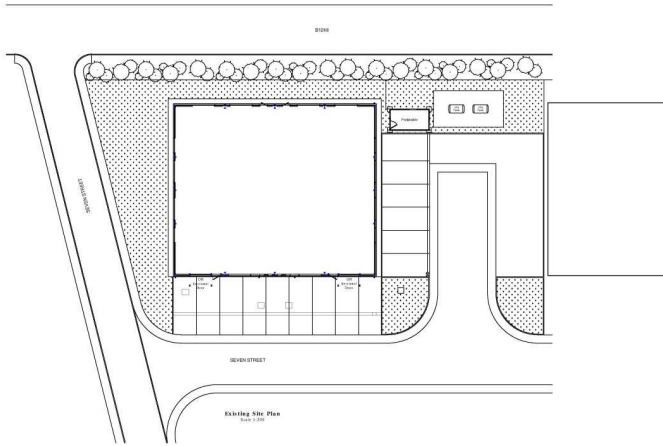
DATE VALID:
10.10.2016



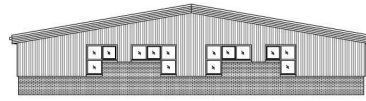
Existing Rear Elevation (North)
Scale: 1/8" = 1'-0"



Existing Front Elevation (South)
Scale: 1/8" = 1'-0"



Existing Site Plan
Scale: 1/8" = 1'-0"



Existing Gable Elevation (East West)
Scale: 1/8" = 1'-0"

DATE VALID:
10.10.2016

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Lak Building

Gravica

Gravica Limited
100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000

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ADDITIONAL PLAN



Gravica
 Gravica Limited
 100, The Central Street
 Link, Warragul
 Victoria 3920
 Australia
 www.gravica.com.au
 03 9402 2344
 info@gravica.com.au

Information
 Drawing Title:
 Proposed Link Building
 3D Views
 Drawing Number:
 10cm566.105



ADDITIONAL PLAN



Gravica
 Gravica Limited
 120-122, Central Street
 Warrington, Cheshire
 WA1 1LH, UK
 Tel: 01925 836363
 Email: info@gravica.co.uk
 www.gravica.co.uk
 01925 836363
 info@gravica.co.uk

Information
 Project Name: Proposed Link Building
 3D Views
 Drawing Number: 10cm566.104.1

Application for Planning Permission



Design and Access Statement

Site: Hydramotion Ltd, 1 Seven Street, York Road Industrial Estate, Malton

Description: Link building

Design and Access Statement Points in Accordance with Ryedale District Council Guidance.

- **Layout** – The plan area of the existing building will be maintained and the existing gas storage area will be reclaimed and used for the link building. The new link building will house the office space on the ground floor and storage area on the first floor.
- **Scale** – The plan area of the existing building will be retained. The link building's floor area and height has been determined from required use and the height of other buildings around the industrial park.
- **Appearance** – The existing brickwork of the building will be retained but the metal cladding on Unit 1 and sections of Unit 3 which Hydramotion own will be replaced with a new composite panel on the roof and walls. New windows will be installed with the whole building requiring much less energy due to the massive increase in thermal performance. New roof lights will be installed in the roof of the Unit 1. The roof lights will be 10% of the roof area. The specification and colour of the proposed cladding and windows has been chosen to reflect the nature of products Hydramotion design and produce.
- **Access** – Access for both vehicles and pedestrians into the building will be unchanged. A new automatic door will provide enhanced entry for pedestrians, disabled and ambulant disabled persons and larger doorways and toilets will be provided in the link building. A new cycle store will provide improved facilities for employees which choose to cycle to work.
- **Landscaping** – Landscaping around the building will remain unchanged. New illuminated signs and sail banner flag will be install in certain areas of the site.
- **Use** – The new building will be used for office area and storage. No additional working hours or new operations are planned following these works. Internally the link building will be open plan office area on the ground floor and storage on the first floor.
- **Amount of Development** – The development area is limited to the existing site – no further development is planned on this project outside the limits shown on drawing 16cm566.101.
- **Indicative Layout** – Shown on drawing 16cm566.101.
- **Scale Parameters** – Upper eaves of building approximately 5.6m with a mono-pitch roof of approximately 6 degrees. Plan areas shown on drawings.
- **Indicative Access Point** – unchanged.

RYEDALE DISTRICT COUNCIL

APPLICATIONS DETERMINED BY THE DEVELOPMENT CONTROL MANAGER IN ACCORDANCE WITH THE SCHEME OF DELEGATED DECISIONS

PERIOD 1 MAY - 26 MAY 2017

1.
Application No: 17/00068/TPO **Decision: Partial Approve/Refuse**
Parish: Norton Town Council
Applicant: C/O Agent (D Pulleyn)
Location: 14 Willow Brook Close Norton Malton North Yorkshire YO17 8AS
Proposal: To fell T8 (Sycamore), crown lift T9 (Beech) to height of adjacent telephone post, and crown lift T10 (sycamore) to provide clearance from ground level in accordance with submitted photograph, all within TPO NO. 235/1998

2.
Application No: 17/00115/CLEUD **Decision: Approval**
Parish: Aislaby, Middleton & Wrelton Parish
Applicant: Mr Rooney Massara
Location: Beech Farm Cottages Main Street Wrelton Pickering North Yorkshire
Proposal: Certificate of Lawfulness in respect of the conversion and use of the buildings known as Dove Tree Cottage and Fat Hen Cottage as holiday cottages as part of the Beech Farm Cottages holiday complex for a period greater than ten years before the date of this application

3.
Application No: 17/00119/FUL **Decision: Refusal**
Parish: Pickering Town Council
Applicant: Austin Brooks Property Consultants (T Gillman)
Location: Land At Old Manse Middleton Road Pickering North Yorkshire
Proposal: Erection of a three bed dwelling with parking and amenity areas

4.
Application No: 17/00147/FUL **Decision: Approval**
Parish: Sinnington Parish Council
Applicant: Mrs Alison Brown
Location: Friars Hill Riding Stables Friars Hill Road Sinnington Pickering YO62 6SL
Proposal: Erection of a detached reception building to include kitchen, washroom facilities and integral stabling following demolition of existing stables and central building, together with a one-bay extension to covered riding arena

5.
Application No: 17/00207/FUL **Decision: Refusal**
Parish: Weaverthorpe Parish Council
Applicant: Mr Britton
Location: Garages At East Bank Main Road Weaverthorpe Malton North Yorkshire
Proposal: Erection of 2 no. semi-detached two bedroom dwellings with parking and amenity areas to include removal of existing block of four garages

6.
Application No: 17/00215/HOUSE **Decision: Approval**
Parish: Habton Parish Council
Applicant: Mr Gordon Younger
Location: 4 The Beeches Kirby Misperton Lane Great Habton Malton North Yorkshire YO17 6RS
Proposal: Replacement of existing front elevation double glazed timber windows and single glazed timber door with double glazed UPVC windows and door

7.
Application No: 17/00212/FUL **Decision: Approval**
Parish: Settrington Parish Council
Applicant: The Orangery (Mrs Karen Storey)
Location: The Bothy Settrington House Church Lane Settrington Malton North Yorkshire YO17 8NP
Proposal: Change of use of first floor three-bedroom staff accommodation unit (Use Class C3) to form offices in connection with The Orangery events business (Use Class B1) (retrospective)

8.
Application No: 17/00221/LBC **Decision: Approval**
Parish: Welburn (Kirkbymoorside) Parish Meeting
Applicant: Mr R Seaton
Location: Howkeld Mill Farm House Welburn Park Kirkdale Lane Welburn Kirkbymoorside YO62 7HE
Proposal: Internal alterations to incorporate attached sheds into the existing dwelling to include opening up of a blocked doorway and forming a new doorway

9.
Application No: 17/00237/HOUSE **Decision: Approval**
Parish: Pickering Town Council
Applicant: David & Karen Gray
Location: October House 141 Middleton Road Pickering North Yorkshire YO18 8NL
Proposal: Erection of two single storey extensions and erection of double garage to replace detached single garage

10.
Application No: 17/00241/LBC **Decision: Approval**
Parish: Pickering Town Council
Applicant: Mr Ian Foot
Location: The Cottage Beck Isle Pickering North Yorkshire YO18 8DU
Proposal: External and internal alterations to include installation of a top floor bathroom to include double pantile in-line ventilator to north-facing roof slope

11.
Application No: 17/00244/HOUSE **Decision: Approval**
Parish: Oswaldkirk Parish Meeting
Applicant: Mr Daniel Breslin
Location: 3 The Bams Station Road Gilling East Helmsley YO62 4JW
Proposal: Erection of detached double garage with loft storage, alteration to existing integral garage to form additional domestic accommodation, along with erection of porch to front elevation

- 12.**
Application No: 17/00254/HOUSE **Decision: Approval**
Parish: Sheriff Hutton Parish Council
Applicant: Mr & Mrs Tracey Payne
Location: Gower Hall Farm Thornton Le Clay To Foston Road Thornton Le Clay Malton YO60 7QD
Proposal: Erection of two storey extension to rear elevation
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- 13.**
Application No: 17/00261/FUL **Decision: Approval**
Parish: Kirkbymoorside Town Council
Applicant: Mrs Maureen Waind
Location: 2 Piercy End Kirkbymoorside North Yorkshire YO62 6DF
Proposal: Change of use and alterations to first and second floors to existing barn to form a 2no. bedroom dwelling to include alteration to side access steps
-
- 14.**
Application No: 17/00268/HOUSE **Decision: Approval**
Parish: Barton-le-Willows Parish
Applicant: Mr & Mrs Nicholas Candler
Location: Willow Barn Steelmoor Lane Barton Le Willows YO60 7PD
Proposal: Erection of detached single garage with storage, together with installation of 2no roof lights to dwelling
-
- 15.**
Application No: 17/00270/HOUSE **Decision: Refusal**
Parish: Pickering Town Council
Applicant: Mr & Mrs J McHugh
Location: 39 Whitfield Avenue Pickering North Yorkshire YO18 7HX
Proposal: Erection of a part two storey/part single storey extension to rear elevation
-
- 16.**
Application No: 17/00286/HOUSE **Decision: Approval**
Parish: Edstone Parish Meeting
Applicant: Mr & Mrs I Walton
Location: Church Hill Farm Main Street Great Edstone Kirkbymoorside YO62 6NZ
Proposal: Erection of two storey extension to north elevation, single storey extension with covered area to south elevation following removal of existing conservatory, formation of balcony to existing two storey extension and replacement of existing UPVC windows with painted timber windows
-
- 17.**
Application No: 17/00290/HOUSE **Decision: Approval**
Parish: Beadlam Parish Council
Applicant: Mr J Walsh
Location: 11 The Croft Beadlam Helmsley YO62 7TA
Proposal: Erection of single storey rear extension
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18.
Application No: 17/00297/FUL **Decision: Approval**
Parish: Slingsby Parish Council
Applicant: Mr Ian Palmer
Location: Robin Hood Caravan Site Green Dyke Lane Slingsby Malton YO62 4AP
Proposal: Change of use of part of existing camping area to allow the formation of 16no. touring caravan pitches with 4m wide gravel/crushed stone access road, erection of 2no. shower/toilet amenity pods and associated additional landscaping

19.
Application No: 17/00298/FUL **Decision: Approval**
Parish: Marishes Parish Meeting
Applicant: Mr Peter Morley
Location: Deerholme Farm Thornton Lane High Marishes Malton North Yorkshire YO17 6UQ
Proposal: Concreting of approximately 728 square metres of the existing farmyard to reduce the run off to nearby watercourses

20.
Application No: 17/00300/HOUSE **Decision: Approval**
Parish: Amotherby Parish Council
Applicant: Mr Paul Milson
Location: Far View Amotherby Malton North Yorkshire YO17 6TG
Proposal: Erection of a vintage tractor storage building to rear of existing storage building

21.
Application No: 17/00306/FUL **Decision: Approval**
Parish: Heslerton Parish Council
Applicant: K B & V Cornforth (Mr D Cornforth)
Location: East Heslerton Wold Whin Moor Lane West Heslerton Malton North Yorkshire
Proposal: Formation of 3no. areas of hardstanding within existing farm courtyard

22.
Application No: 17/00311/HOUSE **Decision: Approval**
Parish: Helmsley Town Council
Applicant: Mr David Brooksbank
Location: 30 Bondgate Helmsley YO62 5BR
Proposal: Installation of 2no conservation roof lights to first floor, 5no conservation rooflights to ground floor and replacement of 3no existing velux lights with conservation lights

23.
Application No: 17/00312/TPO **Decision: Approval**
Parish: Leavening Parish Council
Applicant: Mrs Hilary Pegrum
Location: Brook Cottage Beck Lane Leavening Malton YO17 9SG
Proposal: To crown lift T1 within TPO 236/1998 to provide a maximum of 4m clearance from ground level

24.
Application No: 17/00318/HOUSE **Decision: Approval**
Parish:
Applicant: Sir Frederic Strickland-Constable
Location: Willow Bridge Bossall To Carr Plantation Bossall Malton North Yorkshire YO60 7NR
Proposal: Erection of conservatory/sunroom to eastern elevation

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- 25.**
Application No: 17/00319/FUL **Decision: Approval**
Parish: Terrington Parish Council
Applicant: Terrington Hall Trust Ltd
Location: Terrington Hall School Church Lane Terrington YO60 6PB
Proposal: Formation of an 80m x 40m all weather playing pitch on existing playing field, together with associated fencing, path, spectator area and landscaping
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- 26.**
Application No: 17/00323/FUL **Decision: Approval**
Parish: Leavening Parish Council
Applicant: Mr Rodger Midgley
Location: New Grange York Road Leavening Malton North Yorkshire YO17 9SL
Proposal: Formation of vehicular access to the existing agricultural engineers yard together with reduction of width of adjacent existing vehicular access to form a private access to the dwelling
-
- 27.**
Application No: 17/00324/LBC **Decision: Approval**
Parish: Malton Town Council
Applicant: Mrs Margaret Ann Cleverly
Location: 2 Old Maltongate Malton North Yorkshire YO17 7EG
Proposal: Internal alterations to include ground floor selective damp proofing and tanking of walls and replastering of affected areas and new skirting boards
-
- 28.**
Application No: 17/00336/CLEUD **Decision: Approval**
Parish: Habton Parish Council
Applicant: Crane Engineers Ltd (Mr & Mrs S Boyes)
Location: Ryelean Newsham Lane Little Habton Malton North Yorkshire YO17 6UA
Proposal: Certificate of Lawfulness in respect of the occupation of the dwelling known as Ryelean in breach of the agricultural occupancy condition of approval 3/80/3G/FA dated 09.02.90 for a period greater than 10 years before the date of this application
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- 29.**
Application No: 17/00348/73A **Decision: Approval**
Parish: Sinnington Parish Council
Applicant: Mrs Patricia Darbyshire
Location: Riverside Cottage Marton Road Sinnington YO62 6RB
Proposal: Removal of Condition 02 of approval 3/120/32A/PA dated 25.09.1980 - agricultural occupancy condition
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- 30.**
Application No: 17/00349/HOUSE **Decision: Approval**
Parish: Welburn (Malton) Parish Council
Applicant: Mr Mark Knapp
Location: Pear Tree House Main Street Welburn Malton North Yorkshire YO60 7DZ
Proposal: Erection of a detached single garage (revised details to refusal 16/00235/HOUSE dated 14.07.2016)
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31.
Application No: 17/00355/LBC **Decision: Approval**
Parish: Harton Parish Meeting
Applicant: Sir Frederic Strickland-Constable
Location: Willow Bridge Bossall To Carr Plantation Bossall Malton North Yorkshire YO60 7NR
Proposal: Erection of conservatory/sunroom to eastern elevation

32.
Application No: 17/00361/CLOPUD **Decision: Refusal**
Parish: Ebberston Parish Council
Applicant: Mr Richard Olivier
Location: 7 Mill Lane Ebberston Scarborough North Yorkshire YO13 9NL
Proposal: Certificate of Lawfulness for a proposed use or development in respect of the erection of a replacement porch to front elevation

33.
Application No: 17/00360/HOUSE **Decision: Approval**
Parish: Pickering Town Council
Applicant: Mr Michael Faulkner
Location: 19 Corbie Way Pickering North Yorkshire YO18 7JS
Proposal: Erection of single storey extensions to south elevation and to west elevation utility room

34.
Application No: 17/00369/FUL **Decision: Approval**
Parish: Foxholes Parish Council
Applicant: Mr Nicholas Rivis
Location: Land Adjacent Main Street Foxholes Driffield North Yorkshire
Proposal: Installation of a private telecommunications brick cabinet to provide a fibre optic data link

35.
Application No: 17/00386/LBC **Decision: Approval**
Parish: Oswaldkirk Parish Meeting
Applicant: Mr RJA Elmhirst
Location: Oswaldkirk Hall Main Street Oswaldkirk Helmsley North Yorkshire YO62 5XT
Proposal: Proposed alterations and insertion of 1 no. additional steps to doorway from Kitchen to West Terrace

36.
Application No: 17/00389/HOUSE **Decision: Approval**
Parish: Pickering Town Council
Applicant: Mr & Mrs Brannan
Location: 40 Westlands Pickering YO18 7HJ
Proposal: Erection of single storey extension to west elevation

37.
Application No: 17/00397/HOUSE **Decision: Approval**
Parish: Marishes Parish Meeting
Applicant: Mr & Mrs Hird
Location: Byeways School House Hill Marishes Low Road Low Marishes Malton North Yorkshire YO17 6RJ
Proposal: Erection of single storey extension to front elevation

38.

Application No: 17/00391/HOUSE **Decision: Approval**
Parish: Slingsby Parish Council
Applicant: Mr Tim Brion
Location: Kejan Green Dyke Lane Slingsby Malton North Yorkshire YO62 4AP
Proposal: Erection of single storey extensions to north and east elevations following the demolition of existing detached garage.

39.

Application No: 17/00401/HOUSE **Decision: Approval**
Parish: Weaverthorpe Parish Council
Applicant: Mr David Raine
Location: May Garth Main Road Weaverthorpe Malton North Yorkshire YO17 8EY
Proposal: Erection of extension to rear elevation, to include some demolition work

Appeal Decision

Site visit made on 4 April 2017

by **John Dowsett MA DipURP DipUD MRTPI**

an Inspector appointed by the Secretary of State for Communities and Local Government

Decision date: 8th May 2017

Appeal Ref: APP/Y2736/D/16/3167527

Greystones, The Terrace, Oswaldkirk, York YO62 5XZ

- The appeal is made under section 78 of the Town and Country Planning Act 1990 against a refusal to grant planning permission.
 - The appeal is made by Mr Stephen Wikeley against the decision of Ryedale District Council.
 - The application Ref: 16/01409/HOUSE, dated 19 August 2016, was refused by notice dated 19 October 2016.
 - The development proposed is the erection of a detached double garage to replace the existing detached single garage.
-

Decision

1. The appeal is allowed and planning permission is granted for the erection of a detached double garage to replace the existing detached single garage at Greystones, The Terrace, Oswaldkirk, York YO62 5XZ in accordance with the terms of the application, Ref: 16/01409/HOUSE, dated 19 August 2016, and subject to the conditions in the attached schedule.

Procedural matter

2. The description of the proposed development used on the decision notice issued by the Council more accurately sets out the development proposed than the description used on the planning application form. I have therefore used that for the purposes of the appeal.

Main Issues

3. The main issues in this appeal are:
 - The effect of the proposed development on the character and appearance of the Oswaldkirk Conservation Area; and
 - The effect of the proposed development on the appearance of the landscape of the Howardian Hills Areas of Outstanding Natural Beauty.

Reasons

Character and appearance of the Conservation Area

4. The Oswaldkirk Conservation Area includes the majority of the village with the exception of a small number of modern houses south of the main street. Part of the conservation area also lies within the North York Moors National Park. The appeal site is located outside the National Park Boundary. The village is linear in form with the buildings located along the roads which meet in the village centre. Within the conservation area there is a range of building designs

- and ages. Widespread use of local stone, and similar building heights and proportions provide a degree of visual consistency to the conservation area.
5. The part of the conservation area where the appeal site is located has a different character to the main street, which is built up on both sides with the buildings close to the carriageway. By contrast, The Terrace has a more or less continuous built form the north side, whilst the relative openness of the south side, with more sporadic development and the buildings generally set back from the road, results in it having a more rural feel.
 6. Section 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 requires that in making decisions on planning applications and appeals within a Conservation Area, special attention is paid to the desirability of preserving or enhancing the character and appearance of the area. Paragraph 132 of the National Planning Policy Framework (the Framework) requires that when considering the impact of a proposed development on the significance of a designated heritage asset, great weight is should be given to the assets conservation.
 7. Neither party has submitted any substantive evidence in respect of the significance of the conservation area. The Council compare the floor area of the proposed garage with that of the house with which it would be associated, stating that, as a result of its size, it would be very visually prominent and in a direct sightline from the end of The Terrace and, consequently, would have an adverse impact on the green hinterland.
 8. I saw when I visited the site that within the village there are other examples of detached outbuildings and as such the proposed development would not be unique. The proposed development would replace two, albeit smaller, outbuildings which have a dilapidated appearance. It is proposed that the walls of the building be finished in a stone coloured render and the roof with terracotta coloured roofing sheets. Render is used on a number of other buildings in the village and there is widespread use of red pantiles. The proposed materials would therefore be consistent with other buildings in the conservation area.
 9. Although the proposed garage has a large floor area relative to the property with which it would be associated, this is one half of a pair of semi-detached houses which are located adjacent to a further substantial stone built cottage. Within this context, the proposed development would not appear disproportionately large.
 10. The appeal site is set back from the carriageway of The Terrace, and at a higher level. The bank down from the appeal site to the road is steep and heavily vegetated, and to the east is an area of woodland. These factors would restrict the visibility of the proposed development and it would mainly be visible from the end of the private driveway leading from The Terrace. From further west, the buildings on north side of The Terrace, which are built close to the carriageway, prevent longer range views. I consequently do not find the Council's argument that the proposed development would be very visible and prominent to the extent that it would have an adverse impact a persuasive one.
 11. Due to its limited visibility, and as the proposed development would use materials that are consistent with other buildings in the conservation area and replace existing detached outbuildings that are in poor condition, the proposed

development would have a neutral effect on the character and appearance of the conservation area.

12. I therefore find that the proposed development would not cause harm to the character and appearance of the Oswaldkirk Conservation Area. It would comply with the relevant requirements of Policy SP12 of The Ryedale Plan - Local Plan Strategy 2013 (the Local Plan) which seeks to ensure that heritage assets are conserved or enhanced. It would also be consistent with the advice in the Framework.

Effect on the landscape of the Area of Outstanding Natural Beauty

13. The appeal site is located within the Howardian Hills Area of Outstanding Natural Beauty (AONB). Paragraph 115 of the Framework requires that great weight should be given to conserving the landscape and scenic beauty within an AONB.
14. Whilst changes to the size and massing of buildings will inevitably have an effect on the surrounding landscape, the question is whether that effect would be harmful. I have no substantive evidence before me in respect of the special qualities of the landscape in the area.
15. The village of Oswaldkirk lies on rising land at the boundary between the AONB and the North York Moors National Park. The appeal site is located in a former quarry on steeply rising land on the north side of The Terrace. The slope above the quarry is wooded as is the land to the east. To the south of the road the landscape is a relatively level plain with low hills in the distance. The land is in agricultural use with scattered groups of farm buildings. There is a range of medium to large scale fields in mixed arable and grazing use, with some hedgerow boundaries often containing trees, and occasional small wooded areas.
16. As I have set out previously, the proposed development would have only limited visibility in short range views. As a result of its elevated position, the proposed building would be visible in longer range views to the south. However, this is from some distance and it would be seen in the context of the village sitting along the hillside with the buildings on the south side of The Terrace in front of it. Although the longer elevation of the building would be seen in these views, the roof of the proposed building would lower than the house it serves and the use of materials which are consistent with the local area would integrate it into the landscape. The close association of the proposed building with an existing group of houses on the more built up north side of the road is such that it would not significantly alter the more rural character of The Terrace.
17. The appeal site is located adjacent to a public right of way footpath, however, due to the local topography and landscape features the proposed new building would only be visible in very short range views from the public right of way. As these short range views currently include the existing dilapidated outbuildings, the proposed development would not materially change these.
18. The proposed building is replacing existing buildings on the site and although it is larger than the existing buildings, the change to the landscape would nevertheless be of a lesser magnitude than the construction of a new building where there was previously none. The design and materials proposed for the new building reflect other buildings in the local area. Overall, the effect of the

change on the landscape would very small and limited to the immediate proximity of the appeal site.

19. This slight, and localised, effect would result in only a very limited change to the character of the landscape in this part of the AONB and would not, of itself, constitute harm to the extent that the proposal would conflict with Policy SP13 of the Local Plan.
20. I therefore find that the proposed development would not cause harm to the appearance of the landscape of the Howardian Hills Areas of Outstanding Natural Beauty. It would comply with the relevant requirements of Policies SP13, SP16 and SP20 of the Local plan which seek to ensure that new development protects or enhances the landscape character and scenic beauty of the protected landscape and is of a high standard of design that respects its context and the wider landscape character.

Other matters

21. I note from the officer's report that the Council do not consider that the proposed development would cause harm to the living conditions the occupiers of nearby houses, and that there are no objections from the Highways Authority subject to no works being undertaken which would obstruct the public right of way. From what I have read and from what I saw when I visited the site I have no reason to come to a different conclusion on these matters.

Conditions

22. I have had regard to the conditions that have been suggested by the Council. Although it has not been suggested by the Council, in order to provide certainty in relation to what has been approved, I have attached a condition specifying the approved plans. Due to the location of the appeal site within a conservation area and an AONB it is necessary to attach conditions in respect of the submission of samples of the materials to be used in the construction, including the construction of a sample walling panel on site, and the details of the rainwater goods to be used. As it is proposed that the walls of the building be rendered, I have deleted the requirement to include mortar and pointing in the sample panel as this is not necessary. As the building is within a conservation area in order to ensure that the details of windows and doors are consistent with others in the conservation area, it is also necessary to require detailed drawings of these to be provided. Because of the sensitive nature of the built environment it is necessary that these details are approved prior to commencement of the development.

Conclusion

23. For the above reasons, and having regard to all other matters raised, I conclude that the appeal should be allowed subject to the conditions discussed above.

John Dowsett

INSPECTOR

Schedule of conditions

- 1) The development hereby permitted shall begin not later than 3 years from the date of this decision.
- 2) The development hereby permitted shall be carried out in accordance with the following approved plan: Reference R2258 Drawing Number 01 (Proposed Details).
- 3) Prior to the commencement of the development hereby permitted details and samples of the materials to be used on the exterior of the building the, including details of the colour of render, subject of this permission shall be submitted to, and approved in writing by, the Local Planning Authority. Thereafter the development shall be carried out in complete accordance with the approved details.
- 4) Prior to the commencement of the development hereby permitted, the developer shall construct on site for the written approval of the Local Planning Authority, a one metre square free standing panel of the external walling to be used in the construction of the building. The panel so constructed shall be retained only until the development has been completed. Thereafter the development shall be carried out in complete accordance with the approved details.
- 5) Prior to the commencement of the development hereby permitted, details of rainwater goods to be used in the development shall be submitted to, and approved in writing by, the Local Planning Authority. Thereafter the development shall be carried out in complete accordance with the approved details.
- 6) Prior to the commencement of the development hereby permitted, details of all windows, doors and garage doors, including means of opening, depth of reveal and external finish on 1:10 scale drawings shall be submitted to, and approved in writing by, the Local Planning Authority. Thereafter the development shall be carried out in complete accordance with the approved details.